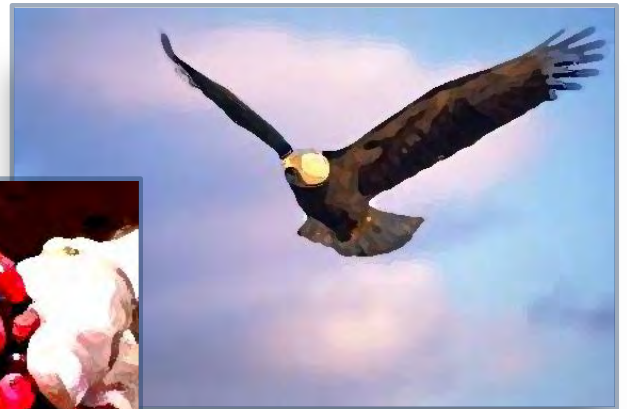


# DESIGN GUIDELINES FOR THE CITY OF LONG BEACH, WASHINGTON

APRIL 2012



OUR HERITAGE: NATURE, CULTURE, HISTORY, RECREATION



## **Acknowledgements**

The following people worked to develop these guidelines.

### **Mayor**

Robert “Bob” Andrew

### **City Council**

Steven Linhart

Don Maxson

Del Murry

Ralph Moore (retired)

Mark Perez

Jerry Phillips

Gordon Zuern (retired)

### **Planning Commission**

Wellington “Willie” Marsh III, Chair

Curtis Epping

Lesley Ferguson

Kathleen Graham

Michael Litawa

Mark Perez (retired)

### **Community Development Director**

Gayle Borchard



# DESIGN GUIDELINES

## FOR THE

# CITY OF LONG BEACH, WASHINGTON

ADOPTED VIA RESOLUTION 2012-04  
ON APRIL 16, 2012

### **How to use these Guidelines**

*Read the fore matter and Chapters 1, 2, and 3 to gain an understanding of design review.*

*Use the maps at the end of Chapter 3 to identify your design district.*

*Read sections 4-1 and 4-2, then only those guidelines that apply to your design district.*

## Table of Contents

<u>Section</u>	<u>Page</u>
<b>Glossary and Definitions .....</b>	<b>1</b>
Architectural styles .....	1
Words and Phrases .....	3
<b>1. Organization of this Document.....</b>	<b>1-1</b>
<b>2. Introduction.....</b>	<b>2-1</b>
2.1 Character .....	2-1
2.2 The Historic Visual Character of Long Beach.....	2-1
2.3 The Current Visual Character of Long Beach .....	2-4
<b>3. The Design Review Process .....</b>	<b>3-1</b>
3.1 What is Design Review?.....	3-1
3.2 Why the City Conducts Design Review .....	3-1
3.2.1 Visual and Functional Continuity .....	3-2
3.2.2 Respect for Natural and Scenic Features .....	3-3
3.2.3 Making the City Pedestrian Friendly .....	3-3
3.3 When Design Review Applies and when it does not.....	3-3
3.4 Levels of Design Review and Why they are Important.....	3-4
3.4.1 City Staff (Administrative) Review .....	3-4
3.4.2 Planning Commission Review .....	3-4
3.4.3 City Council Review.....	3-5
3.5 How to Submit a Design Review Application and What to Expect .....	3-6
3.5.1 Step 1: Review the Design Guidelines.....	3-6

3.5.2	Step 2: Study the Building Site .....	3-6
3.5.3	Step 3: Discuss the Project with City Staff .....	3-6
3.5.4	Step 4: Develop Your Design Using the Guidelines .....	3-7
3.5.5	Step 5: Submit Your Design for Formal Review .....	3-7
3.5.6	Step 6: For Non-staff Reviews, Present the Design at a Public Meeting.....	3-8
3.5.7	Step 7: Revise the Design Based on City Comments .....	3-8
3.5.8	What to Expect.....	3-8
	Zoning Map.....	follows page 3-8
	Design District Map.....	Follows zoning map
<b>4.</b>	<b>Design Guidelines.....</b>	<b>4-1</b>
4.1	In General.....	4-1
4.2	Design Guidelines and Zoning Regulations .....	4-1
4.3	For OT and OTW Zones: The Old Town Design District .....	4.3-1
4.3.1	Context.....	4.3-1
4.3.2	Desired Image .....	4.3-2
4.3.3	Architectural Styles.....	4.3-3
4.3.4	Standards and Guidelines for the Old Town Design District .....	4.3-3
4.4	For RC, C1, and C2 Zones (and conditional uses in L1): The Neighborhood Commercial Design District .....	4.4-1
4.4.1	Context.....	4.4-1
4.4.2	Desired Image .....	4.4-1
4.4.3	Architectural Styles.....	4.4-2
4.4.4	Standards and Guidelines for the Neighborhood Commercial Design District.....	4.4-2
4.5	For AC, S3, S3R, and S3M Zones: The Shoreline Resort Design District.....	4.5-1
4.5.1	Context.....	4.5-1

4.5.2	Desired Image .....	4.5-2
4.5.3	Architectural Styles.....	4.5-2
4.5.4	Standards and Guidelines for the Shoreline Resort Design District .....	4.5-3
4.6	For R1R, R2R, and R3R Zones (and conditional uses in R1, R2, and R3): The Residential Restricted Design District .....	4.6-1
4.6.1	Context.....	4.6-1
4.6.2	Desired Image .....	4.6-2
4.6.3	Architectural Styles.....	4.6-2
4.6.4	Standards and Guidelines for the Residential Restricted Design District.....	4.6-2
4.7	For S1 and S2 Zones: The Shoreline Residential Design District .....	4.7-1
4.7.1	Context.....	4.7-1
4.7.2	Desired Image .....	4.7-1
4.7.3	Architectural Styles.....	4.7-1
4.7.4	Standards and Guidelines for the Shoreline Residential Design District.....	4.7-2





## GLOSSARY AND DEFINITIONS

The following words, phrases, and concepts are used in this document.

### Architectural Styles



**Beach Cottage:** Typically small, single or two story buildings with a front porch, gable end facing the street, dormers, and usually shingle-sided. Beach cottages are typically summer homes. Many beach cottages have brackets and other modest ornamental features that transform an otherwise simple building reminiscent of a Midwest farm house into a Victorian-like home.

**Cape Cod:** Simple one or two story, vertically oriented buildings with steep

gable roofs, very slightly overhanging eaves, weathered shingle siding, and covered front porches.



#### **Coastal Resort:**

A style whose features include stained wood, sloping roofs with deep overhangs, and large expanses of glass used in a contemporary manner. Sensitive siting and integration with the natural landscape are distinctive features as well.

#### **Craftsman:**

Typically one story with pitched, broad gables. A lower gable usually covers a porch, and a large gable covers the main portion of the house. Wood shingles or wood board and batten are the favored exterior finish. Exposed structural members and trim work may be painted, with shingles left in a natural state or painted/stained an earth tone.





**Early Seashore:** The City's early resort hotels and many homes were in this style. Buildings of this type are wood frame structures clad in lap siding, clapboard, shingles, or board and batten, and have pitched shingled roofs, creating a turn-of-the-

century seashore atmosphere.

**Old Town:** Old Town style is the commercial representation of the early seashore style. Buildings convey an image of traditional "Main Street" store fronts that were adapted to the turn-of-the-century seashore atmosphere. Common architectural details include false fronts with decorative parapets, and marquees that shelter the sidewalk.

In addition, ornate detailing is used to provide visual interest. Typical details are ornamental moldings and brackets on cornices and decorative trim around windows. Large display windows are located at the ground floor. A few



Old Town buildings were clad with lap siding milled in Ilwaco in the late 1800s or with stucco.



**Victorian Beach House:** The general characteristics are simple one- or two-story, vertically oriented, with a steep gable roof, overhanging eaves, weathered shingle siding and a covered front porch.



## Words and Phrases

**Accessory:** A structure subordinate to the principal structure. For example: a garage, a shed, or a fence.

**Bracket:** A support, often scroll-shaped, supporting an overhang.



**Bric-a-Brac:** Fancy trim and detail work typically found on a Victorian-era home.

**Buffer Strip:** Open space, landscaped area, fences, wall, berm or any combination thereof used to physically separate or screen one use or property from another so as to visually shield or block noise, lights, or other nuisances.



**Corbel:** A repeated projection from a wall, located near the top of the wall.

**Cornice:** Horizontal extension of the top of a parapet or false front that is typically supported on the underneath side by brackets.

**Crenulated or Crenulation:** Square edged saw shape along the top of false front or parapet.



**Cross Gable:** A secondary roof form, set perpendicular to the primary roof and having its highest ridge at the same height or lower than the ridge of the primary roof.

**Cupola:** A small roof tower, usually rising from the roof ridge.

**Design District:** An area located within Long Beach that has a common context, image, and architectural

style. Contrast to “zone”.

**Design Guidelines:** Legal standards and criteria plus preferred design criteria that guide development in the City of Long Beach, and which are included in this manual.

**Design Review:** A process whereby a project is assessed by the City for its compliance with stated design criteria. Design review regularly occurs in specific designated zones, and under non-standard conditions in other zones.

**Detached Garage:** A garage separate from a house, occasionally connected by a breezeway or path.

**Detail or Detailing:** Small wood-working features that are added to overhangs, railings, windows, gable ends, parapets, dormers, etc. to accent and beautify a building.



**Dormer:** An extension of a space out at right angles of an existing roof. Dormers may be pitched or have a shed roof style.

**Easement:** The grant of one or more specific air, surface or subsurface property rights by the property owner to and/or for use by the public, a corporation, or another person or entity, and recorded by deed or on the plat of the property.

**Eave:** The lower portion of a sloped roof that extends beyond a structure's wall. Part of the overhang.

**Façade:** The front face of a building.

**False front:** A false façade applied to a building to increase its street presence.

**Fenestration:** Windows or other openings on a building facade.

**Guidelines:** See "Design Guidelines."

**Impermeable Surface:** A surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water.

**Knee Brace:** A structure that can brace and give support to an eave. Sometimes structural, though not always.

**Lattice:** A wood detail usually having wood pieces at 90 degrees to each other in an open pattern. Lattice will pass light while allowing some privacy from side street views.

**Lot:** A building site that is described by reference to a recorded plat, by metes and bounds, or by section, township and range which has direct legal access to a street or has access to a street over an easement approved by the county.





**Lot, Flag:** A lot with a narrow street frontage and extension, providing access by a private driveway from the street to the main part of the lot, which is located behind and separated from the street by another lot or lots.

#### **Lot Lines:**

**Lot Front Line:** In the case of an interior lot, the lot line abutting the street. In the case of a corner lot and reverse corner lot, the line abutting the narrowest street frontage of the lot. In the case of corner lots or reverse corner lots having equal street frontages, the line when extended creates

the front property line for the greatest number of interior lots in the same block.

**Lot Rear Line:** A lot line that is opposite or approximately opposite from the lot front line.

**Lot Side Line:** Any lot boundary line that is not a lot front line or a lot rear line.

**Marquee:** A permanent structure attached to, supported by, and projecting from a building and providing protection from the weather elements. This does not include freestanding permanent roof-like structures providing protection from the elements, such as a service station gas pump island. Marquees may contain signage for a business.



**Nonconforming Structure:** A structure that was lawful at the time it was constructed, but no longer conforms to the use regulations of the zone in which it is located as defined by this title.



**Ornate Seashore Detailing:** Very detailed wood work of scrollwork, quadrants, rod and beads, often painted in contrasting colors and very common in Victorian homes.

**Overhang:** That portion of a roof extending beyond a building's wall.

**Parapet:** The extension of a building facade above the line of the structural roof. A building's height is calculated up to the highest point of a parapet.

**Pitch:** The steepness of a roof.

**Porch:** A covered entry to a building.

**Promenade:** A wide walkway, usually wider than 10 feet.





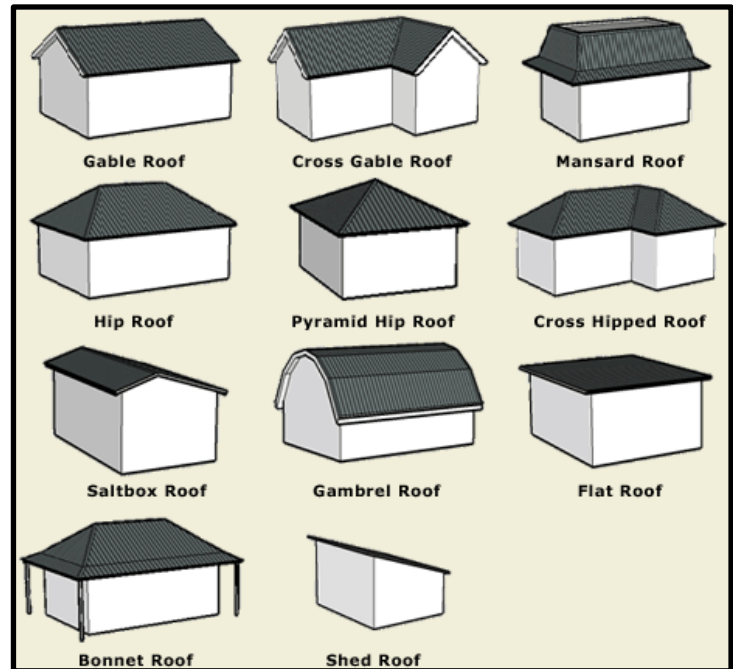
**Quadrant:** A decorative feature located underneath the upper most gable end of a roof:

**Roof, Gable:** A roof pitched to two sides, oriented to either the front or side.

**Roof, Hip:** A roof with all four sides sloped.

**Roof, Mansard:** A hip roof where the lower slope on all four sides is nearly vertical and the upper slope of the roof has a minimum pitch. This roof will be treated as a building wall during design review and the floor area of the floors within the mansard roof walls will be included in the calculation of the total floor area for the structure.

**Roof, Steep:** A roof that is difficult to walk on. A roof angle over 6:12 (22.5 degrees) is steep. Victorian homes had roofs as steep as 9:12 or 12:12 (45 degrees) that were only accessible by roof ladders.



**Scale:** The relationship of a particular project or development in terms of its size, height, bulk, intensity and aesthetics, to its surroundings and to humans.

**Scrollwork:** Very detailed wood work, typically found in Victorian homes. Scrollwork uses a circular spiral as a motif. The name comes from the supposed resemblance to the edge-on view of a rolled parchment scroll.

**Setback:** A line parallel to its nearest property line, between which no structure may be extended or be placed; the minimum or maximum distance required between a structure and a lot line, or between structures on the same lot.

**Shake:** A shingle that typically has at least one side split and facing to the weather. Shakes are usually rough textured, but may also be “raked”.

**Shingle:** A thin piece of cedar wood with one end thicker than the other for laying in overlapping rows as a covering for a roof or the sides of a building or structure. Composition asphalt material may be used for roofing shingles.

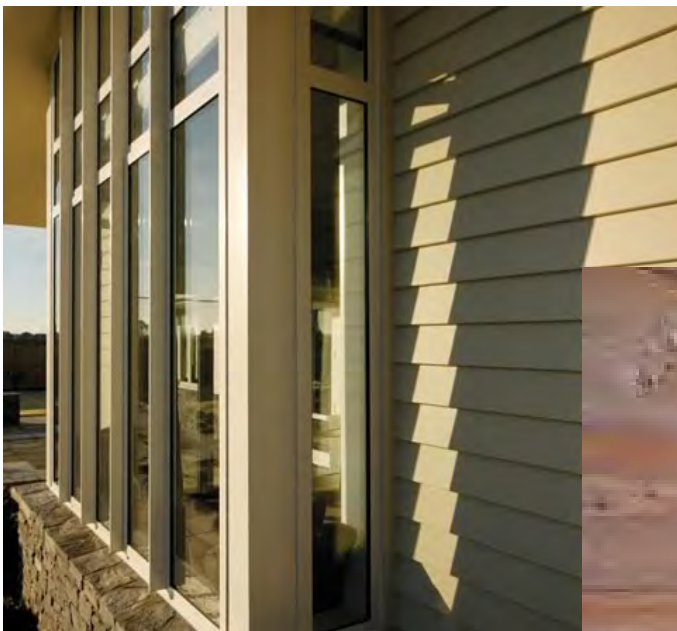
**Sidewalk:** A raised pedestrian walkway along a street. Historically sidewalks were of wood (hence boardwalk), modern sidewalks are usually concrete or asphalt.

**Siding, Board and Batten:** Exterior siding comprised of boards approximately eight (8) to twelve inches (12") in width, installed vertically and with strips of wood (battens) applied to cover the joints between the boards. Battens are typically about two inches (2") wide but may be up to four inches (4"). Sheet siding such as exterior grade plywood may be used in lieu of individual boards, with the spacing of the battens



simulating individual boards.

**Siding, Clapboard:** Horizontal siding in which courses overlap each other and the bottom edge is thicker than the upper.



**Siding, Lap:** Like clapboard siding, but wider.

**Siding, Weathered:** A type of look in a beach home, often the gray weathered look of a natural cedar shingle or the exposed grain of lap siding.







double hung

**Window, Vertical Hung:** A window that opens vertically.

**Double Hung:** A vertical hung window where both the top and bottom move.

**Single Hung:** A vertical hung window where only the bottom half moves and the top half is fixed.



single hung



**Wood Bracket:** A small brace usually located under a cornice.

**Wood Frame or Stick Built:** A building constructed entirely or largely on-site; that is, built on the site which it is intended to occupy upon its completion.

**Zone:** An area located within Long Beach that has a common zoning designation, and therefore common allowable uses and standards. Contrast to “design district”.

# 1. ORGANIZATION OF THIS DOCUMENT

This document is organized into three main areas, as described below.

Chapter 2: Introduction, explains the concepts of community character and visual character, and how these concepts are linked to one another. The chapter goes on to describe both the historic and current-day character of the city.

Chapter 3: The Design Review Process, defines design review, explains its value, and explains when design review is required and when it is not. This chapter also addresses the process of design review, and provides information regarding how to prepare and submit an application and what happens after that occurs.

Chapter 4: Design Guidelines, describes the actual standards a project must meet and criteria that should be included in a project for it to achieve the “look” and function the City desires, and for the project to successfully negotiate the design review process. The City is divided into several design districts, and the Design Guidelines for each district are presented. There is a fair amount of redundancy, but this format allows an applicant to identify their design district and to find all the applicable standards and guidelines for that district in one location.



## **2. INTRODUCTION**

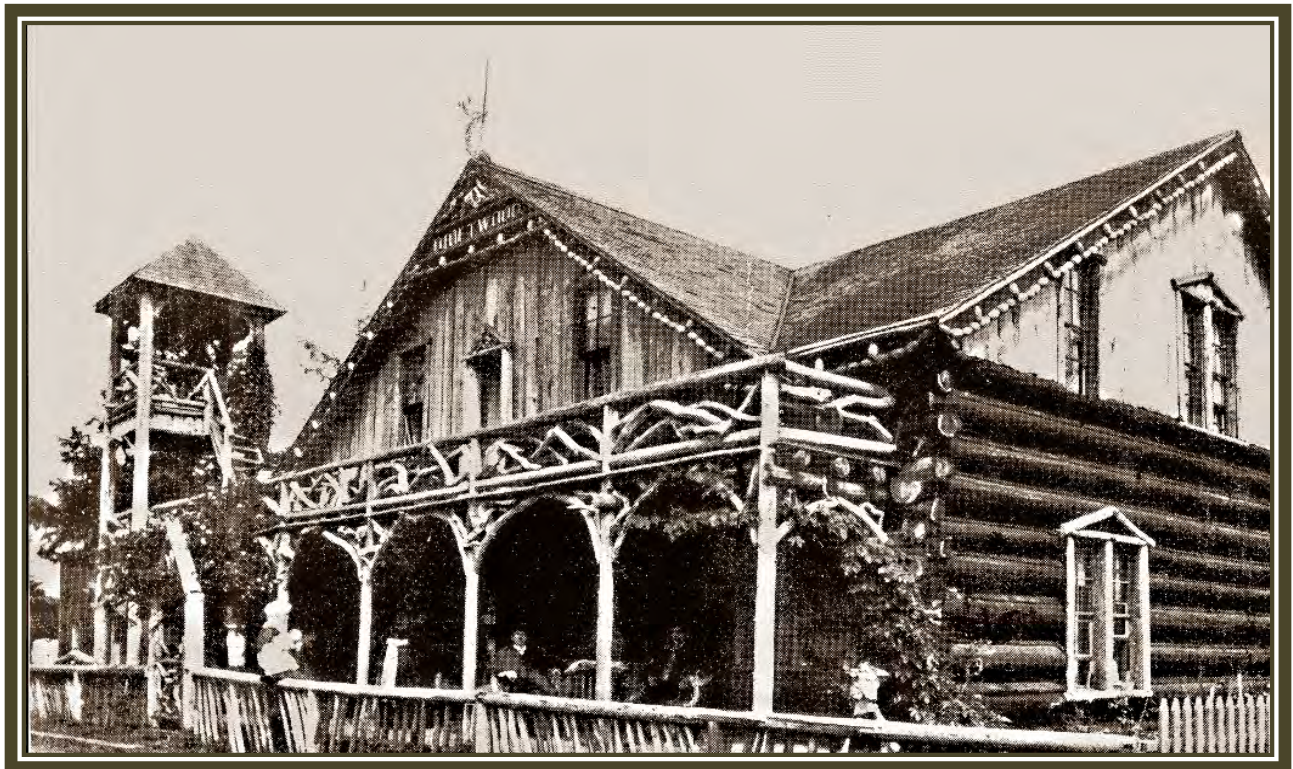
This chapter explains the concept of character – both community character and visual character. The chapter goes on to describe both the historic and current-day character of the city.

### **2.1 Character**

For purposes of this document, “character” is the sum of all attributes that establish a “sense of place” unique to a specific community. Attributes may be based in history, in the way things have always been done. Some are based on geography, the influence of land form on patterns of development. Some attributes, such as the general character of residents, are intangible. Others, such as those that come into play in design review, are not only tangible, but visible. This document focuses primarily on the visual character of Long Beach.

### **2.2 The Historic Visual Character of Long Beach**

The shape of Long Beach is historically influenced most greatly by the Pacific Ocean. As are many ocean-front communities, Long Beach stretches in a relatively narrow band along the coastline.





In addition to shaping the town, the ocean played a most important role in the economic development of Long Beach. Beginning in the late 1800s, Long Beach has thrived as a “working man’s” holiday retreat. Long Beach has been home to diverse architectural styles that reflect the



town’s early beach resort history. Photographs of that era show the main street (Pacific Avenue, also known as Pacific Highway) bustling with pedestrians, trains, wagons, and early motor cars. Stores were predominately wood frame buildings, usually covered in clapboard siding, and they stood close to the sidewalk edge. Many had false fronts. As visitors walked along the store



fronts, large display windows at street level exhibited products and attracted and held viewers’ attention. Ornamental details, although restrained, were found on many structures, typically around windows and doors, in the ends of gables and along cornices that finished parapet edges. Along quieter residential streets, raised wood frame cottages were typical, most sided with clapboards. Front doors were oriented to the street and open porches defined the entrances to

most houses. Many roofs extended beyond the walls, and were supported on simple wood brackets. Most windows were rectangular, vertically oriented, and framed with flat wood trim. Some houses had picket fences that defined their front yards.

Beach hotels were a signature piece of the community's resort feel. Several large frame guest houses stood along the beach front. Some had fanciful porches with decorative trim made of



curvilinear driftwood; others were more stately, turn-of-the-century structures with large, shingled roofs. Upper floors were often tucked into these roofs and most were accented with dormers that gave a sense of scale to the buildings. Most of the hotels had large porches that provided shelter and also defined each building's orientation, usually facing the ocean. In early photos, these hotels appear set into the sand dunes, with grasses and shore pines serving as the predominant landscape palette.

All of the hotels and guest houses from this early resort era are now gone and the shore line has grown farther west as land has built up from the deposit of Columbia River-borne sands along



the beach. A new foreground of native and introduced plants and rolling sand dunes now establishes the coastal character for which Long Beach and the peninsula on which it is located are known.



## 2.3 The Current Visual Character of Long Beach

Today, Long Beach remains a visitor-driven economy and its visual character is a blend of new and old. For the most part, the early seashore and other traditional architectural styles continue to dominate and create a visually coherent and “charming” theme. While some of the architectural heritage of Long Beach has been lost, many early residential structures survive, and several newer buildings contribute to the relaxed seashore resort character of the community. Other 1950s to 1980s era buildings depart from the traditional building character.

For example, in outlying commercial areas, more recent buildings are set back from the street in order to accommodate parking areas in front of buildings; this diminishes the pedestrian-friendly aspect of these retail areas. Some newer hotels have their front doors facing away from the beach, toward parking lots, and a few houses built in recent years have departed from tradition by omitting porches.

Long Beach is dependent on a resort economy, and establishing a high-quality architectural setting is vital to the well-being of its residents as well as the enjoyment of its visitors. The question facing the community is: Will new building and alterations to existing structures weaken the appeal of Long Beach or enhance it?

The quality of development affects the appeal and livability of the community, and decisions made during design review can have meaningful results on the quality of development. For example, in residential areas the community can encourage walking and strengthen the existing neighborhood-oriented character, or it can create auto-oriented sprawl in which neighborhoods are isolated and accessed only by cars. Resort accommodations can develop as isolated enclaves where visitors stay remote from the remainder of town, or they can convey a sense of being integrated with the community.



### **3. THE DESIGN REVIEW PROCESS**

#### **3.1 What is Design Review?**

Design review is a process whereby the City assesses a proposed development for compliance with standards and design criteria specified in the City code, as well as other criteria that reflect City preferences for development. Together, these standards and criteria comprise the City's "design guidelines." Design review assesses both how a project looks and how it functions.

#### **3.2 Why the City Conducts Design Review**

In August 2008, the City of Long Beach adopted a Comprehensive Plan intended to guide the City through the year 2026. That Comprehensive Plan included the following vision statement, developed with the input of citizens and decision-makers:

*Our vision is to become a vibrant resort community that shares its unique coastal environment with residents, businesses, and visitors. We will manage our growth to provide a sound and diverse economic base where families can afford to live. We will create and maintain a pedestrian and bike-friendly community that has excellent infrastructure to meet the needs of our businesses, residents, and visitors. We will create a sense of place by establishing a healthy Town Center. We will establish an atmosphere of cooperation with our neighbors all along the Peninsula. Together, we will strive for a community where we pay tribute to our rich cultural and natural heritage; a community that has quality health care and other essential services; and above all is a safe place where residents can live, work, and play.*

Following the comprehensive planning process, the City substantially revised its Building, Unified Development, and Zoning regulations to reflect the vision of the community as laid out in the new Comprehensive Plan. These Design Guidelines are also revised to reflect the will of the citizenry and decision-makers as presented in the new plan and regulations.

Design review helps to ensure that development in Long Beach supports the vision of the Comprehensive Plan, including development that reflects a resort atmosphere, that is pedestrian and bike friendly, that is affordable, and that pays tribute to our cultural and natural heritage.

Design review seeks to protect Long Beach's heritage by encouraging development to reflect the town's historic "look" and function in buildings and site design, while encouraging modern enhancements and individual taste.

These guidelines are founded on the following principles:

- Within each design district, visual and functional continuity should be established and encouraged, while accommodating variety in individual buildings and site design.
- Natural resources, where they exist, should be respected in development.
- Development should help make the city pedestrian friendly.

### 3.2.1 Visual and Functional Continuity

In older, established areas of town subject to design review—such as downtown—new

construction should be compatible with the City's traditional historic context. This is achieved through use of historic elements of site design, building form, materials, and details. This does not mean, however, that historic styles should be strictly copied. On the contrary, contemporary



interpretations of these traditional styles are encouraged, in order to create a modern vibrant resort community while retaining the city's charming historic character.

Each neighborhood and design



district should have its own visual character, and development within that neighborhood or design district should reflect that character and so be related to surrounding development. In essence, a building should look like it “belongs”.

Functionally, circulation routes—motorized and non-motorized alike—should connect with a city-wide system and should be designed to function smoothly together.

### 3.2.2 Respect for Natural and Scenic Features

In dunes, development should retain and reflect as much of the natural setting as feasible. Retaining natural land forms and established vegetation while promoting recreational opportunities via trails and open spaces are design approaches for this more natural area that are strongly encouraged.

Respect for the natural setting must be balanced with the need to functionally integrate these areas with the older, established portions of the city.



### 3.2.3 Making the City Pedestrian Friendly

Creating an environment that encourages walking is a major goal throughout the city. This is vital to the city's interest, because a walkable city promotes tourism, an essential element of the local economy. It also reduces traffic congestion. Pedestrian routes should be safe and should appear welcoming to persons on foot. Building exteriors and streetscapes that are visually interesting to pedestrians are essential components of making the city walkable.

## 3.3 When Design Review Applies and when it does not

Design review applies to any improvement made to property open to exterior view – it does not apply to strictly interior changes. Design review is always required for development in the following zones:

OT: Old Town	R1R: Single Family Residential Restricted
OTW: Old Town West	R2R: Two Family Residential Restricted
RC: Residential Commercial	R3R: Multi-family Residential Restricted
C1: Commercial	S1: Shoreline Single Family Residential
C2: Commercial Retail Warehouse	S2: Shoreline Multi-family Residential
AC: Accommodations	P: Public
S3: Shoreline Resort	PR: Parks and Recreation
S3R: Shoreline Resort Restricted	S4: Shoreline Conservancy
S3M: Shoreline Resort Mixed Use	

Design review is not required for permitted or accessory uses in the R1: Residential, R2: Two-family Residential, R3: Multi-family Residential, and the L1: Light Industrial zones. If conditional uses are proposed in these zones, then design review *does* apply.

The following activities are exempt from design review, no matter the zone in which they are located:

- Normal maintenance and repair, where there is no change to the exterior appearance of the structure.
- Replacement of fifty percent (50%) or less of a non-conforming siding material on any single side. The replacement of more than fifty percent (50%) of the non-conforming siding on a single side shall be considered an alteration, and must be submitted for design review.
- Minor adjustments to dimensions such as railing height or stairs, where necessary to comply with the building code, provided the design of the replacement feature is otherwise identical to the feature being repaired, and the change is the minimum necessary.
- One accessory building with a gross floor area of one hundred twenty (120) SF or less (essentially a shed) may be placed on a lot without design review, provided the structure is placed in the rear of the lot behind the principal building. Additional accessory buildings, regardless of size and location, are subject to design review.

### **3.4 Levels of Design Review and Why they are Important**

A project subject to the design review process may be reviewed by one of three entities: City staff, the Planning Commission, or the City Council.

#### **3.4.1 City Staff (Administrative) Review**

City staff conducts reviews and acts upon the following project types:

- Signs.
- Additions equal to no more than twenty percent (20%) of the existing floor area or four hundred (400) SF, whichever is less.
- Residential alterations with no increase in floor area, and commercial alterations with no increase in floor area and less than fifty percent (50%) change in exterior cladding and roof combined.
- Decks.
- Fences.
- Accessory structures (sheds, garages, etc.).
- Minor revisions to a prior design review approval that are consistent with the original approval, comply with all design guidelines, and do not exceed ten percent (10%) of the square footage of the project.

Administrative design reviews are usually conducted fairly quickly, but this depends on staff workload. Expect a maximum of 30 days.

#### **3.4.2 Planning Commission Review**

Following receipt of a recommendation from City staff, the Planning Commission reviews and acts upon the following project types:



- Single-family dwellings, both new construction as well as additions greater than twenty percent (20%) of the existing floor area or four hundred (400) SF, whichever is less.
- Multi-family development containing up to four (4) dwelling units, both new construction as well as additions greater than twenty percent (20%) of the existing floor area or four hundred (400) SF, whichever is less.
- Commercial development, both new construction of up to six thousand (6,000) SF of floor area as well as additions greater than twenty percent (20%) of the existing floor area or four hundred (400) SF, whichever is less, resulting in a building with a gross floor area of not more than six thousand (6,000) SF.
- Commercial alterations with fifty percent (50-%) or greater change in exterior cladding and roofing combined.

Planning Commission design reviews are conducted at meetings that are scheduled only once a month. Applications must be submitted at least two (2) weeks prior to the meeting to allow staff to prepare a report and for the Commission to review the report and thoroughly evaluate the proposal. In order not to miss the schedule and have to wait an additional month, it important you understand and adhere to the application submittal schedule.

### **3.4.3 City Council Review**

Following receipt of a recommendation from City staff and from the Planning Commission, the City Council reviews and acts upon any project not otherwise reviewed by staff or the Commission. These project types include and are not limited to:

- Multi-family development containing more than four (4) dwelling units.
- Commercial or institutional development, both new construction in excess of six thousand (6,000) SF of floor area as well as additions greater than twenty percent (20%) of the existing floor area or four hundred (400) SF, whichever is less, resulting in a building with a gross floor area of more than six thousand (6,000) SF.

City Council design reviews are conducted at meetings that are scheduled twice a month. However, since a Planning Commission recommendation is required, applications must be submitted at least two (2) weeks prior to the Planning Commission meeting. After staff and the Commission have made their recommendations, the project can be heard at the next City Council meeting. In order not to miss the schedule and have to wait an additional month, it important you understand and adhere to the application submittal schedule.

## **3.5 How to Develop and Submit a Design Review Application and What to Expect**

The step-wise approach to design review described in this section is an efficient process, which should assist you in completing design review in a reasonable period of time with minimal re-work. Because design guidelines differ by district, and each district depends on zoning, you must first know the zoning of your property prior to initiating design review. You then should determine in which design district your property is located. [ See the Zoning and Design District maps at the end of this chapter.]. Once you have determined your design district, locate and read the design guidelines for that district in this manual.



### **3.5.1 Step 1: Review the Design Guidelines**

The intent of the design review process is to ensure that development within the City limits is high quality and compatible with the City's design goals. The design guidelines form the basis for making decisions about your design, and therefore no design work should begin without reviewing the guidelines for your design district.

Applicants must meet regulatory standards and criteria, and are also expected to meet as many of the non-regulatory guidelines as appropriate and feasible. In each case, the City will determine when a sufficient number of the guidelines have been adequately met in order to consider whether to approve, approve with conditions, or deny the proposed design.

### **3.5.2 Step 2: Study the Building Site**

In order to gain an understanding of how a project may impact its setting, a site visit is essential. In analyzing the site, it is important to identify those significant features—both natural and man-made—located in the immediate vicinity and the neighborhood at large, that define the context for the project. Many design review criteria and guidelines focus on respecting the existing context, and therefore, a clear definition of its character is critical.

### **3.5.3 Step 3: Discuss the Project with City Staff**

Prior to filing an application, the applicant or his representatives should meet with City staff to obtain information about the design review process, including relevant criteria and guidelines. Applicants for large or particularly complex projects may benefit from meeting with the Planning Commission to observe reaction to the proposal and to obtain advice prior to a decision being rendered. Applicants are advised to schedule an informal discussion at the earliest stage of concept development.

### 3.5.4 Step 4: Develop Your Design Using the Guidelines



Because the guidelines in this book form the basis for the City's design review approval or denial, applicants should use the guidelines in this book to develop their design. Applicants will be asked in formal review sessions to describe how the proposed project meets the design guidelines.

In some cases, applicants may feel they can meet the general policies in a means other than that defined in the guidelines and may place such an argument before the reviewing staff, Commission, or Council. In such circumstances, the burden is upon the applicant to demonstrate how the proposed project meets the

broader goals, objectives, and policies that drive the guidelines.

### 3.5.5 Step 5: Submit Your Design for Formal Review

Obtain an application for design review from City staff or from the City's website:

[www.longbeachwa.gov](http://www.longbeachwa.gov). A fact sheet regarding design review is located on the City's website as well. The application provides all the detail you will need to make a complete application. If any application directions or requirements are confusing, contact City staff for clarification. The complete application and all attachments must be filed in advance of staff, Planning Commission, or City Council consideration. This is to allow reviewers and the public adequate time to view the materials; to avoid delay, be certain that adequate information is provided and that all pertinent details of the design are clearly presented. Check with City staff to determine the specific submittal requirements, however, in general, submittal documentation should include:

- a completed application form, including the signatures of both the applicant and property owner;
- a site plan, showing property boundaries, all existing and proposed buildings, structures, and site features such as fences, driveways, etc., drawn at 1"=10' or 1"=20', fully dimensioned, including a north arrow;
- if relevant, a landscape plan showing the type and location of ground cover and the type, location and quantity of shrubs and trees, drawn at the same scale as the site plan; provided all required information is clear, the landscape plan may be included on the site plan; and
- if relevant, building elevations of the front, rear and sides of the proposed building, showing architectural features including siding, windows, doors, roofs, foundations, trim, etc., drawn at 1/8"=1' or 1/4"=1', with roof pitch and height dimensioned on the drawing.

Floor plans showing the general location and configuration of all proposed uses may be required for commercial, multi-family and multi-use projects when necessary to determine compliance with requirements of the zoning code.

Drawings must be to scale and on standard-sized sheets. If larger than 11" x 17", multiple sets of drawings must be submitted, the number depending on the type of review. Where possible, provide samples of materials and colors. Samples are required for applications seeking approval of alternative building materials (such as cement-based siding products).

### **3.5.6 Step 6: For Non-staff Reviews, Present the Design at a Public Meeting**

The Planning Commission and City Council hear comments on proposed projects at their regularly scheduled meetings. Documents used at a review meeting should match those filed earlier. The City will conduct the review and approve, approve with conditions, or deny the application within thirty (30) days after the meeting. The City will use the design guidelines to make its decision. The City will notify you in writing of its decision.

### **3.5.7 Step 7: Revise the Design Based on City Comments**

In preliminary reviews, the City may indicate areas of concern and in later formal reviews when the City takes action, it may determine that a project does not adequately meet the design guidelines. An applicant may modify her design based on staff, Commission, or Council comments and re-submit a revised design for consideration.

### **3.5.8 What to Expect**

You will be advised in writing of the outcome of your design review. City staff, the Planning Commission, or the City Council may take one of the following actions on your design review: outright approval, approval with conditions, or outright denial. You have the right to appeal the decision of your design review by paying a fee, making an application for appeal, and specifying the exact elements of the design review decision with which you disagree. You must file your appeal within 14 calendar days of the decision. Approval is good for one year, with a one-year extension normally granted upon request.

There are two important points to understand about your approval. First, City approval of your project is based on the design you submit. Once it is approved, should your project design change, you must discuss those changes with the City to determine whether your approval stands as-is, or requires revision. Second, **all conditions of approval are mandatory requirements, and non-compliance with permit conditions may lead to your approval being rescinded and possibly you being cited and fined pursuant to City code.** Things often work out differently than planned, so if your project changes or a condition of approval does not seem to be working "on the ground", contact City staff to discuss the issue and work out an equitable solution.



# City of Long Beach Zoning Map

## Map Legend

- City Boundary
- 1889 Seashore Conservation Line
- 1968 Seashore Conservation Line
- 1980 Seashore Conservation Line
- R1 Single Family Residential
- R1R Single Family Residential Restricted
- R2 Two Family Residential
- R2R Two Family Residential Restricted
- R3 Multi-Family Residential
- R3R Multi-Family Restricted
- S1 Shoreline Single Family Residential
- S2 Shoreline Multi-Family Residential
- S3 Shoreline Resort
- S3M Shoreline Resort Mixed-Use District
- S3R Shoreline Resort Restricted
- AC Accommodations
- RC Residential Commercial
- OT Old Town
- OTW Old Town West
- C1 Commercial
- C2 Commercial Retail Warehouse
- L1 Light Industrial
- P Public
- PR Parks & Recreation
- S4 Shoreline Conservancy



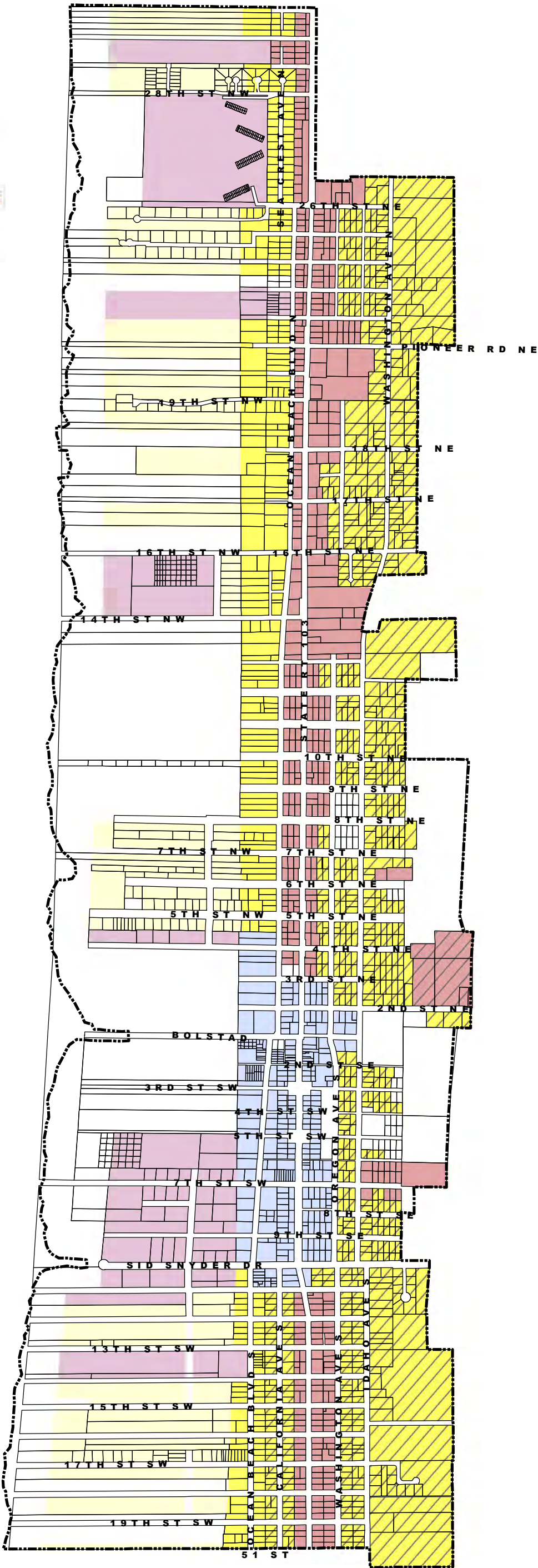


# CITY OF LONG BEACH DESIGN DISTRICTS

- Residential Restricted Design District
- Shoreline Residential Design District
- Shoreline Resort Design District
- Neighborhood Commercial Design District
- Old Town Design District

In hatched areas design review is required only for conditional uses.

Find your design district, then refer to the Design Guidelines for that district



## 4. DESIGN GUIDELINES

This section presents standards and criteria that comprise the City's design guidelines. Design reviewers use these guidelines when assessing projects, and by incorporating them into your design, you will increase your chances of early success, avoid re-design, and reduce the number of conditions placed on your project. Standards are legal requirements for minimum lot size, allowable lot coverage, setbacks, etc. that are found in the City zoning regulations. Guidelines are a combination of standards, design criteria found in the City code, and other criteria that reflect City preferences for development. There are many design guidelines; you must incorporate into your design all that are legally required. And while incorporating as many City preferences as you will increase your chances of a speedy review process, you do not need to incorporate all of them. This will allow for individual expression in project design while achieving the overall City design goals for a specific district.

### 4.1 In General

The design guidelines presented in this section are a combination of good design practice, techniques to implement the City's vision, and City regulations; the latter are presented in **boldface**, and are mandatory requirements.

### 4.2 Design Guidelines and Zoning Regulations

The City's zoning regulations (Title 12 of the City code) describe for each zone the intent of the zone, permitted uses, accessory uses, and conditional uses. The zoning regulations also describe the standards for property in a zone, including minimum lot size, the percent a lot may be covered with impermeable materials, setbacks, maximum building heights, signs, parking, whether design review applies, landscaping, and maximum area of accessory buildings.

In addition, the zoning code describes the design review process, general criteria, as well as mandatory design review criteria for each zone.

## 4.3 For OT and OTW Zones: The Old Town Design District

### 4.3.1 Context

The Old Town design district is the traditional commercial center—the “downtown”—of Long Beach. It has always been and remains the functional heart of the community. Old Town is a compact retail core that stimulates foot traffic, promotes tourism, and serves the needs of visitors. It architecturally representing an “old fashioned” early twentieth century seashore theme. It is a dense design district—buildings are placed right



up to the sidewalk, and fill the entire frontage side-to-side.

Although the OT zone is substantially developed, there remain development opportunities, and the OTW zone represents a relatively high

number of development opportunities. Anticipated uses include retail, galleries, offices, restaurants, personal services, theaters, amusements (OT only), and hotels. Residences may also occur in upper stories. Parking for commercial uses is required in OTW.



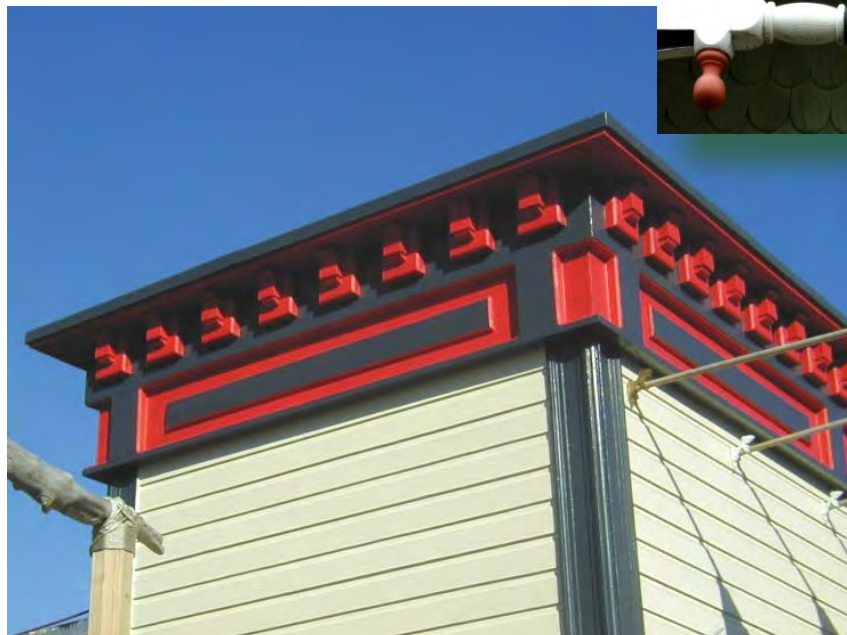


### 4.3.2 Desired Image

The image desired for the Old Town design district is that of an active, pedestrian-friendly village, with buildings that reflect a mix of old and new construction, and that convey the character of traditional commercial store fronts seen in an earlier Long Beach. This is an image of hand-crafted, wood frame structures whose first floors are largely glassed storefronts.



All buildings in this zone must convey this image.



It is important that Old Town continue to develop as an area attractive to pedestrians. To achieve this goal, development of outdoor areas is encouraged. Creating and sustaining positive open spaces, will continue to be important for this area, as



will preservation of the established corner parks in the town core.

### 4.3.3 Architectural Styles

Although consistency in basic building type is desired, diversity of detail for building fronts is encouraged. For new construction, a contemporary interpretation of the City's traditional commercial architecture is desired. False fronts, marquees, and lap, board and batten, or cedar shingle siding, along with a moderate amount of architectural ornamentation, are features that establish an image of traditional buildings. An optional and recommended feature is the marquee, or horizontal canopy, which provides shelter for pedestrians.

### 4.3.4 Standards and Guidelines for the Old Town Design District

Below are design guidelines that should be incorporated into a project located in the Old Town design district. Guidelines in **boldface** type are mandatory, and where applicable, references to their location within the City code are in brackets. Other guidelines are preferences or suggestions, and should be incorporated where appropriate and to the extent feasible into project design. The Old Town design district represents more than one zone; unless otherwise specified, the guidelines apply to all zones within the design district.



#### ***The Old Town Design District (OT): Site Design (SD)***

- OT-SD1 Lot size:** The minimum buildable lot size is 2,500 SF. [12-6A-4(A)(1); 12-6B-4(A)(1)]
- OT-SD2 Lot coverage:** Lot coverage may be up to one hundred percent (100%). [12-6A-4(A)(2); 12-6B-4(A)(2)]
- OT-SD3 Setbacks in the OT zone:** Setbacks are a preferred five foot (5') maximum on Pacific Highway; a maximum may be permitted by the reviewing authority during design review provided that none of the setback area is used for parking, and the area is finished and used for outside display, dining and/or landscaping. [12-6A-4(A)(3)(a)]
- OT-SD4 Setbacks in the OTW zone:** Setbacks are a maximum of twenty feet (20') from Ocean Beach Boulevard if only one building is located on the property. For

**development with multiple buildings, at least one building shall be set back a maximum of twenty feet (20') from Ocean Beach Boulevard. All other setbacks shall be subject to design review. [12-6B-4(A)(3)]**

OT-SD5 Site design and landscaping: Define site edges and add visual interest with landscaping, including plants, fences, and some hardscape.

**OT-SD6 Area to be landscaped: Where buildings are not built to the property line, the area between the building and the property line shall be landscaped or otherwise treated as an outdoor amenity. The area may be finished as hardscape with planters, or may be planted with landscape materials, provided the reviewing authority finds the proposed design enhances the proposed development and the surrounding area. Street furniture may also be included in the design. [12-13-2]**

- Hardscape areas such as patios may be a part of the landscaping, provided planters are included in the design and the space is designed as an outdoor amenity.

**OT-SD7 Landscape strips: Non-residential and multi-family development or additions**



**and alterations that have a value of fifty percent (50%) or more of the existing structure and that about a residential zoned property shall provide a landscape strip along the common property line. The required landscaping strip shall be a minimum of five feet (5') in width and consist primarily of a mixture of evergreen and deciduous trees and shrubs.**

**Ground cover and smaller plantings may also be used but shall not be used exclusively. A decorative solid wood**

**fence six feet (6') in height may be allowed by the reviewing authority in lieu of the landscaping buffer. The intent shall be to screen the view of the commercial activity from the residential use. [12-13-1(A)]**

OT-SD8 Landscaping and building design: Landscaping shall be used where necessary to mitigate the height, bulk, or scale of buildings.

OT-SD9 Landscaping to screen parking: Landscaping or landscaped berms shall be used to partially screen parking areas from view from adjacent streets or building occupants.

**OT-SD10 Landscape materials: Required**

**landscaping shall be predominantly native or plant materials suited to the coastal setting. Consideration should be given to the appearance of the landscaping in all seasons.**

**Landscaping plans shall be designed to conserve and make efficient use of water. Plant sizes shall be used that will best ensure their survival, and to provide coverage within two (2) years.**

**Deciduous trees should have a minimum trunk diameter of two inches (2") at time of planting.**

**Evergreen trees should be a minimum of six feet (6') tall at time of planting.**

**Ground cover materials such as gravel or bark may be used only if approved as part of the overall landscaping plan and shall be limited. Land disturbed by development activities shall be revegetated at least to its pre-development condition. [12-13-1(C)]**



- Along Pacific Avenue and Ocean Beach Boulevard, landscaping should be used to provide visual interest for pedestrians.

**OT-SD11 Integration with stormwater plans:**

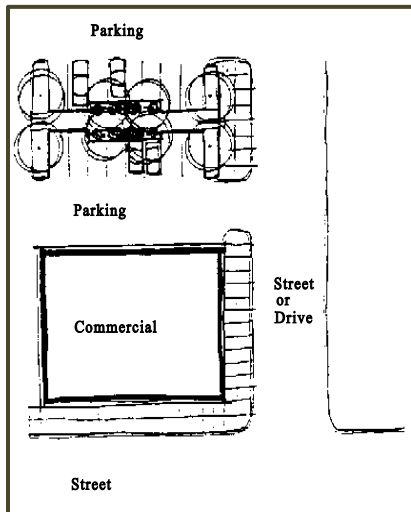
**Wherever possible, the landscaping plan shall be coordinated with the stormwater plan, where required for the development, and shall be designed to help control and reduce stormwater runoff. Low impact development techniques are encouraged. [12-13-1(D)]**



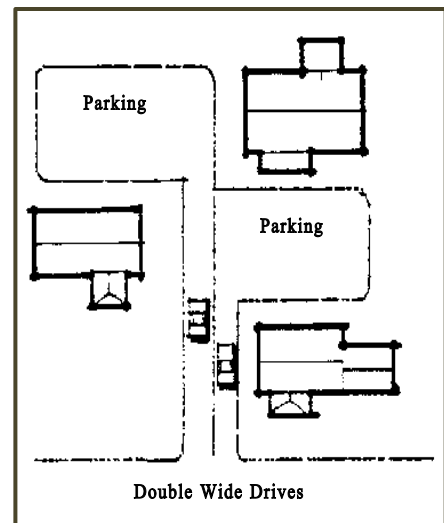
- Design drainage areas such that they will also serve as site amenities. For example, landscape storm water detention areas.

**OT-SD12 Site run-off: Design site drainage so it does not impact adjoining properties. Drain surface water run-off to points where it can discharge to the municipal storm drainage system.**

OT-S13 Parking lot run-off: The use of porous materials in parking lots is encouraged to minimize storm run-off, with sufficient smooth hard surface to provide access to persons with mobility impairment.



**OT-SD14 Location of parking:** For buildings in the OT zone with frontage on Pacific Avenue or Ocean Beach Boulevard, parking shall not be placed between the building and the street. In all zones, it is preferred that parking be placed on the side or to the rear of the building. [12-10A-1(B)(10)]



OT-SD15 No new curb cuts shall be allowed along Pacific Highway.

**OT-SD16 Off-street parking requirements in the OT zone:** There are no off-street parking requirements in the OT zone, except for the following:

- One off-street parking space shall be provided for each hotel or motel room.
- No variances for required parking spaces will be given in the Old Town zone.
- There shall be no ingress to or egress from off-street parking from Pacific Avenue, unless the reviewing authority determines there are no other feasible access points from other streets. [12-12-2(B)]

**OT-SD17 Off-street parking requirements in the OTW zone:** The following apply:

<u>Type of Use</u>	<u>Parking Space Required</u> <sup>(1)</sup>
Art gallery, library, museum	1 per 800 SF of gross floor area, plus 1 per 2 employees
Bakery, confectionery	1 per 400 SF of gross floor area
Church, theater, community hall	1 per 6 seats or 12 feet of bench
Commercial amusements	1 space per 300 SF of ground area
Gas station	1 per 2 employees
Motels, hotels, itinerant condominiums, time shares	1 per unit, plus 1 per each employee and 2 for a manager's unit



<b><u>Type of Use</u></b>	<b><u>Parking Space Required<sup>(1)</sup></u></b>
<b>Multi-family residences, three or more dwellings</b>	<b>1 for each studio or one-bedroom unit; 1.5 for each two-bedroom unit; 2 for each 3- bedroom or larger unit; plus 1 visitor space for every 4 dwelling units</b>
<b>Offices, including banks, medical clinics, and professional offices</b>	<b>1 per 400 SF of gross floor area</b>
<b>One and two-family residences</b>	<b>2 per dwelling unit; tandem parking allowed</b>
<b>Private clubs, lodges</b>	<b>1 per 4 seats</b>
<b>RV parks and campgrounds</b>	<b>1 per RV space or campsite, plus 1 per employee and 2 for a manager's unit</b>
<b>Restaurants, eating and drinking establishments</b>	<b>1 per 200 SF of gross floor area; drive-through stacking to be evaluated by the reviewing authority</b>
<b>Retail stores, such as grocery stores, tourist shops, furniture stores</b>	<b>1 per 400 SF of gross floor area, plus 1 per 2 employees</b>
<b>Schools, elementary, nursery</b>	<b>1 per employee or teacher</b>
<b>Senior citizen homes, convalescent centers</b>	<b>1 per 6 beds, plus 1 for every 3 employees</b>
<b>Similar uses or aggregate</b>	<b>To be evaluated by the planning commission on a case by case basis, based on the above standards</b>

- (1) Where parking is required for employees, the number shall be calculated based on the maximum number of full-time-equivalent (FTE) employees per maximum shift.

[12-12-2(A)]

**OT-SD18 Parking space dimensions:** An off street parking space shall be at least nine feet (9') in width and eighteen feet (18') in length. Such space shall have a vertical clearance of at least seven feet (7'). For parking areas where at least ten (10) spaces are required, a maximum of fifty percent (50%) of required spaces may be utilized as compact stalls measuring eight feet (8') wide by sixteen feet (16') in length. [12-12-2(D)(2)]

**OT-SD19 Ingress and egress:** The maximum allowable width of ingress and egress access points for an off street parking lot shall be fifteen feet (15') for a one-way access point and twenty-five feet (25') for a two-way access point, except the approving authority may approve a one-way access point that is twenty feet (20') wide or a

two-way access point that is thirty feet (30') wide, provided the following criteria are met:

- The wider access point is necessary to allow safe ingress and egress for the type and size of vehicles customarily associated with the use of the property or for uses that have higher traffic volumes;
- Pedestrians will not be unduly impacted by the greater width; and
- The property is served by only one access point on each street frontage. [12-2-2(D)(3)]

**OT-SD20 Location of off-street parking:** Off street parking requirements shall be met on the same lot and zone as the building served, or off-site on a lot within two hundred feet (200') specifically reserved for said business's clientele. Multiple uses may share off-site parking facilities located on a separate lot(s), provided the number of spaces available meets the total requirement of all of the separate uses. Off-site parking shall be considered accessory to the use, as if it were located on the same site as the use. Off-site parking that is required for the use shall be secured in perpetuity through a deed, recorded easement or other document acceptable to the city. Off-site parking that is provided voluntarily in excess of the parking requirement will not be required to be secured in perpetuity and will be considered accessory to the use. [12-12-2(D)(4)]

**OT-SD21 Surface conditions:** Parking lots shall have graveled or paved surfaces, maintained adequately for all weather use, and drained to avoid flow of water over public sidewalks, rights-of-way, and abutting private property. The use of low impact development techniques to reduce stormwater impacts is encouraged. [12-12-2(D)(5)]

**OT-SD22 Maneuvering space:** Maneuvering space (to prevent backing onto streets) shall be provided for all lots that provide access onto arterial streets. Internal driveway widths and circulation patterns shall be adequate to provide necessary maneuvering for vehicles, according to the design and layout of the parking lot. [12-12-2(D)(6)]

**OT-SD23 Multiple uses:** In the event that several uses occupy a single structure or parcel of land, the total requirements for off street parking shall be the sum of the requirements of the several uses computed separately, unless evidence is presented to the satisfaction of the reviewing authority that the various uses shall not be used simultaneously. [12-12-2(D)(7)]

**OT-SD24 Tandem parking:** Tandem or stacked parking is allowed for itinerant lodging. Tandem or stacked parking is not allowed for any commercial use. For itinerant lodging, tandem or stacked parking shall only be permitted if a parking

attendant is designated and on duty at all times. Such parking shall not be more than three (3) spaces deep. [12-12-2(D)(10)(b)]

**OT-SD25 Required parking berths:** Truck loading berths shall be required as follows:

Commercial, industrial, and public utility uses that have a gross floor area of three thousand five hundred (3,500) SF feet or more shall provide truck loading or unloading berths in accordance with the following table:

<u>Square Feet of Floor Area</u>	<u>Required Berths</u>
3,500 to 6,500	1
6,501 to 10,000	2
10,001 and over	3

Office buildings, hotels, motels, hospitals, institutions, schools, public buildings, recreational or entertainment facilities, and any similar use that has a gross floor area of ten thousand (10,000) SF or more shall provide off street loading or unloading berths in accordance with the following table:

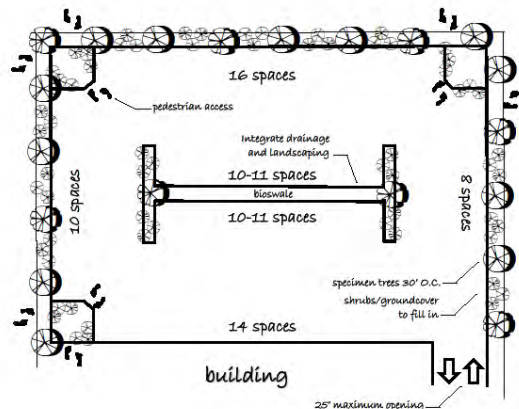
<u>Square Feet of Floor Area</u>	<u>Required Berths</u>
10,000 to 50,000	1
50,001 and over	2

[12-12-3(A)]

**OT-SD26 Berth dimensions:** A loading berth shall contain space at least twelve feet (12') wide, thirty feet (30') long, and have a height clearance of at least fourteen feet (14'). [12-12-3(B)]

**OT-SD27 Visual impact of parking:** Minimize the visual impact of parking lots via the following techniques:

- Divide large parking lots into smaller areas, which are separated by landscaping.
- **Parking lots shall be screened from view of the adjoining street by a landscape strip that is an average of at least five feet (5') in depth but not less than three feet (3'), excluding driveways and pedestrian walkways. The required landscape strip shall consist of evergreen and deciduous trees planted not more than thirty feet (30') on center, interspersed with large and small shrubs and ground cover. Plantings of shrubs and ground covers shall be chosen and spaced to result in a covering of the landscape strip within two (2) years. Shrubs shall be of a type that does not**



exceed a height at maturity of approximately three (3) to four feet (4'). Deciduous trees shall have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees shall be a minimum of six feet (6') tall at time of planting. [12-13-1(B)(1)]

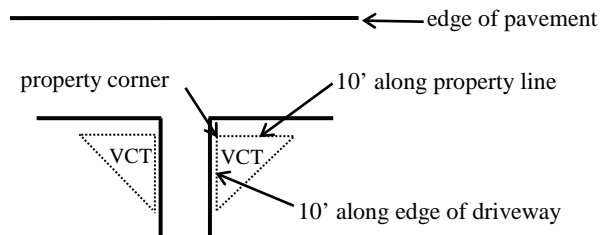
- **Parking areas of more than six (6) spaces shall be landscaped with not less than 400 SF of landscaping. [12-13-1(B)(2)]**

OT-SD28 Site decoration: Locate site decorations within landscaped areas.

- Site decorations should accurately convey the heritage of the community.
- Symbols and product forms that convey the nature of the business conducted are also appropriate as site decorations.

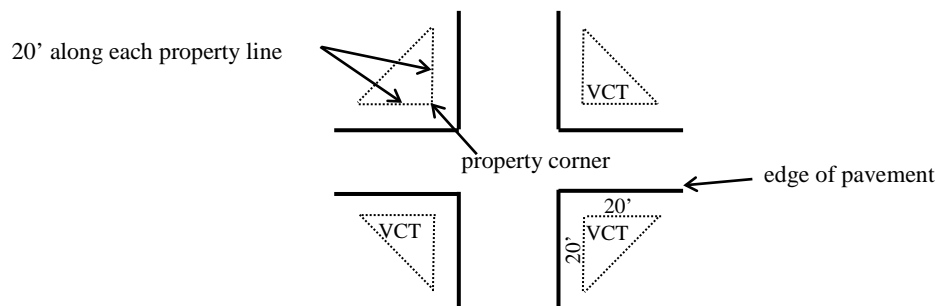
**OT-SD29 Vision clearance triangle (VCT): The VCT is the corner of an intersection of a street another street, alley or driveway, formed by measuring a specific distance along each street, alley or driveway from the property corner and connecting the two end points**

#### VCT at Street-to-Street Intersection



to form a triangle. The vision clearance triangle is maintained clear of landscaping, fences and other obstructions of a certain height, generally the area between forty two inches (42") to ten feet (10') above the adjacent street level, which would block the visibility of vehicle, bicycle, or pedestrian traffic.[12-2-1; 12-13-10]

#### VCT at Driveway-to-Street Intersection





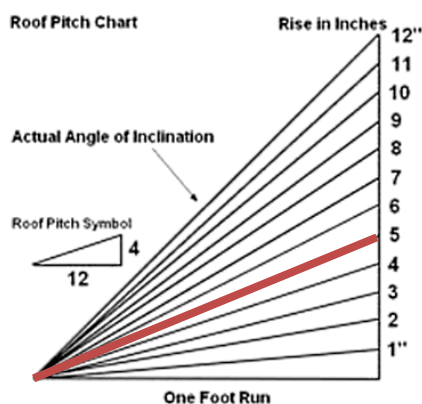
### ***The Old Town Design District (OT): Building Design (BD)***

- OT-BD1 Building height in the OT zone:** The maximum height of a building shall be thirty five feet (35'). The minimum building height shall be twenty-five feet (25'), except that a lower building height may be permitted by the reviewing authority during design review upon an affirmative finding that the lower building height results in a building of similar proportions to abutting buildings. [12-6A-4(B)]
- OT-BD2 Building height in the OTW zone:** The maximum height of any building or portion of a building within thirty feet (30') of Ocean Beach Boulevard shall be forty five feet (45'). The maximum height for any building or portion of a building set back more than thirty feet (30') from Ocean Beach Boulevard shall be fifty five (55'). The minimum building height shall be twenty five feet (25'), except that a lower building height may be permitted by the reviewing authority during design review upon an affirmative finding that the lower building height results in a building of similar proportions to abutting buildings. [12-6B-4(B)]
- OT-BD3 Building size:** The maximum building size is 10,000 SF per floor. [12-6A-4(G); 12-6B-4(G)]
- OT-BD4 Building alignment:** Align the majority of a storefront at the sidewalk edge, while allowing for variation in the storefront to achieve visual interest.
- If some setback of the entire storefront from the sidewalk is necessary, it should be developed as an area of pedestrian activity, such as a court yard or plaza.
- OT-BD5 Building width:** A building should be built to the full width of the lot as it faces the street, except where plazas or other actively-used outdoor areas are located along the side.
- OT-BD6 Mass and scale:** New structures and additions should reinforce the existing range of building heights in the district by one or more of the following techniques:
- Maintain existing one- and two-story building heights.
  - Use horizontal elements, such as cornices and moldings, to express the typical one and two story heights. Taller portions of buildings may be set back.
  - Buildings may be taller than two stories, but should have elements that express these traditional heights.
  - Align storefront elements with others on the street, where feasible, to enhance the sense of scale of the street.
- OT-BD7 Horizontal emphasis:** Large buildings should have horizontal emphasis by using horizontal moldings, marquees and canopies.
- OT-BD8 Façade width:** Primary facades should express dimensions of typical storefront widths traditionally found on the street:

- Most buildings have a facade width of twenty five feet (25'), or multiples of this dimension.
- New buildings should have facade elements that express these traditional proportions, thereby reinforcing this established rhythm. For example, vertical trim boards placed every twenty five feet (25') would reinforce the traditional rhythm.

OT-BD9 Building orientation: Primary entrances and display windows should be oriented to the sidewalk. Blank walls must not face major sidewalks. Building faces should provide visual interest; include display windows, decorative patterns and landscaping to emphasize an orientation to the sidewalk.

**OT-BD10 Roofs: A roof pitch of 5:12 or greater is required. The approving authority may**



**allow a more shallow pitch or a flat roof on commercial or mixed use buildings where the pitch of the roof is concealed from the primary street frontage by a false front that extends across at least fifty percent (50%) of the width of the building's street frontage. Shallower roof pitches on projecting features such as bays and porches may be permitted where the form of the elements is complementary to the overall form and character of the building. [12-10A-1(B)(1)]**

OT-BD11 Roofing materials: Where roofs are visible, black composite roofing shingles are encouraged. Tan or earth-tone colored composition shingles are also allowed, as are wood shingles.

**OT-BD12 Wood siding: A minimum of eighty percent (80%) of the building's total exterior siding exposure shall be cedar shingle, lap, or clapboard siding with an exposure not to exceed eight inches (8"). Sheet siding shall not be used, except when battens are applied, so board and batten siding may also be used. The use of glass for window displays is encouraged, and shall be counted toward the wood siding requirement. Cement board siding that is similar in appearance to permitted siding materials shall be allowed. [12-10A-1(B)(2)]**

**OT-BD13 Accent materials: If used, not more than twenty percent (20%) of the building's total exterior siding exposure may be materials other than wood or cement-based siding. Materials that may be used include masonry (stone, brick or split-faced block), sheet or corrugated metal, or other styles of wood siding. Sheet siding shall not be used, except when battens are applied. Materials should be used as accents to highlight the form and architectural details of the building.**

Cement board siding that is similar in appearance to permitted accent materials shall be allowed. [12-10A-1(B)(3)]

**OT-BD14 Finishes:** Natural, painted or stained finishes are permitted. Muted natural or neutral colors are required in shoreline areas. [12-10A-1(B)(4)]

**OT-BD15 Trim:** Trim should be provided around all windows, doors and to accent the architecture of the building. Trim should be painted in a contrasting color, but may be left unfinished if the exterior siding material is also unfinished. [12-10A-1(B)(5)]

**OT-BD16 Roof Ridge:** One vertical change in elevation of a minimum of three feet (3') shall occur in every fifty foot (50') run of roof. As an alternative, one or more of the following may be applied:

- The use of dormers may be proposed as an alternative to a three foot (3') change in elevation. If dormers are used, there shall be not less than two (2) dormers per fifty feet (50') of roof run, and each dormer must span at least eighty percent (80%) of the roof face from ridge to eaves.
- A cross gable may be used as an alternative to a three-foot (3') change in elevation. There shall be at least one cross gable for each fifty feet (50') of roof run. The face of the cross gable must be in the same plane as the building facade and the ridge of the cross gable shall be no more than two feet (2') below the primary ridge.
- The use of cupolas may be proposed as an alternative to a three foot (3') change in elevation. If cupolas are used, there must be at least one cupola per fifty feet (50') of roof run or fraction in excess of fifty feet (50'). Cupolas shall be sized proportional to the building by being not less than one foot (1') in height per ten feet (10') of roof run. [12-10A-1(B)(6)]



**OT-BD17 False Fronts:** False fronts are permitted on buildings fronting SR 103 (Pacific Avenue) and Ocean Beach Boulevard. False fronts used to conceal a roof pitch less than 5:12 shall extend at least fifty percent (50%) of the width of the building's frontage. [12-10A-1(B)(7)]

**OT-BD18 Marquees and canopies:** For buildings fronting on Pacific Avenue or Ocean Beach Boulevard, especially within the downtown core, marquees, canopies, awnings and similar features are encouraged that will project out over the pedestrian way and provide shelter from the elements, to encourage pedestrian traffic. Such features shall be incorporated into the overall design of the building. [12-10A-1(B)(18)]

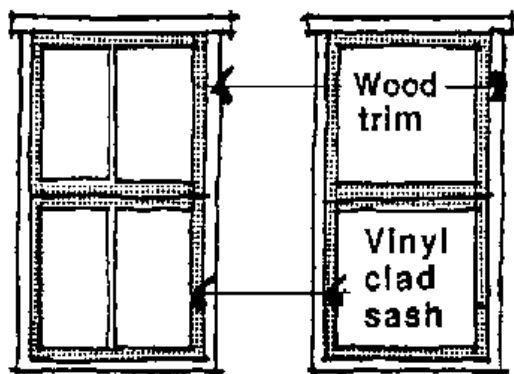


**OT-BD19 Façades:** For buildings with frontage on Pacific Avenue or Ocean Beach Boulevard, at least fifty percent (50%) of each twenty-five (25) linear foot segment of the first floor building facade shall be glass doors or windows designed to accommodate window displays. Bay or bow windows are permitted, but may not extend into the right-of-way at the first floor. [12-10A-1(B)(8)(a)]

**OT-BD20 Door materials:** Wood doors or synthetic doors that appear to be wood are preferred. [12-10-7(C)(4)]

**OT-BD21 Door design:** Primary entry doors should have an upper panel of glass to simulate historic design and to provide views into building interiors to enhance interest to pedestrians.

**OT-BD22 Recessed entries:** Primary entrances shall be located in recessed entries to provide shelter for pedestrians and interest to the street.



**OT-BD22 Window materials:** Wood-cased windows or wood-appearing synthetic windows are preferred. If synthetic windows are to be used, they must have wood trim, or casing, to "tie" them in with the wood siding.

**OT-BD23 Upper-story windows:** Windows with vertical proportions are preferred on upper stories. These may be combined in sets to create larger areas of glass.



OT-BD23 Lighting: Recessed lighting is encouraged. Flashing lights are not allowed.

OT-BD24 Historic appearance: Where substantiated by photographs, physical evidence or other historical documentation, the reviewing authority may approve alterations and additions to historic buildings that are not otherwise permitted. A building may be considered historic if it is more than fifty (50) years of age, is architecturally or aesthetically important, or has cultural significance. The intent is to preserve the historic appearance of the building, or restore it to its original historic appearance, not to permit buildings that do not comply with design requirements and that have no historic, cultural or aesthetic value to the city. There must be a demonstrated effort to preserve, restore or rehabilitate the entire building, such that the project generally meets the “Secretary of the Interior’s Standards for the Treatment of Historic Properties,” which may be used by the reviewing authority as alternate design guidelines where appropriate.

### ***The Old Town Design District (OT): Ornamentation (O)***

- OT-O1 Detail encouraged: The use of ornamental detail is encouraged.
- OT-O2 Type of detail. Ornamental detail should not convey a false sense of history for the area, but modern interpretations of historic details are encouraged.
- OT-O3 Location of detail: Details should be located such to provide visual interest to pedestrians. False front cornices, roof gables, eaves, and marquees are appropriate locations. Detailing is also appropriate around doors and windows.
- OT-O4 Integration of detail: Ornamental detail should appear to be integrated into the overall architectural composition.

### ***The Old Town Design District (OT): Fences (F)***

OT-F1 Fences encouraged: The use of fences is encouraged to define the edges of open areas.

**OT-F2 Preferred fences: Decorative fences are preferred, particularly wooden picket fences. [12-10-7(C)(5)]**

- Painted metal fences that are simple in character may also be considered.

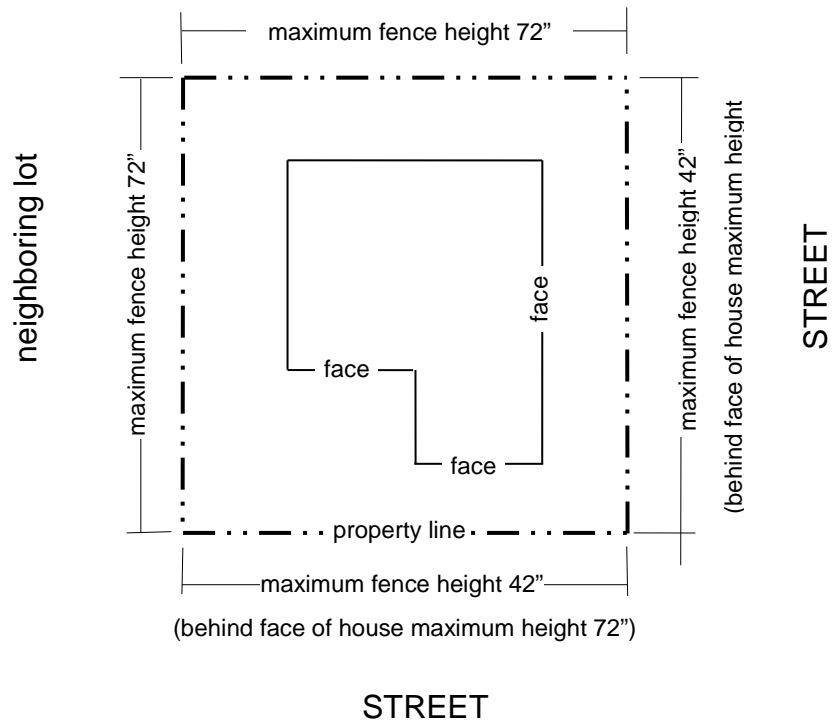
OT-F3 Non-preferred fences: Chain link and split rail wood fences are not encouraged.

**OT-F4 Fence height: Any front or side yard fence located along the street and in front of the principal building may not exceed forty two inches (42”) in height. Any fence at**

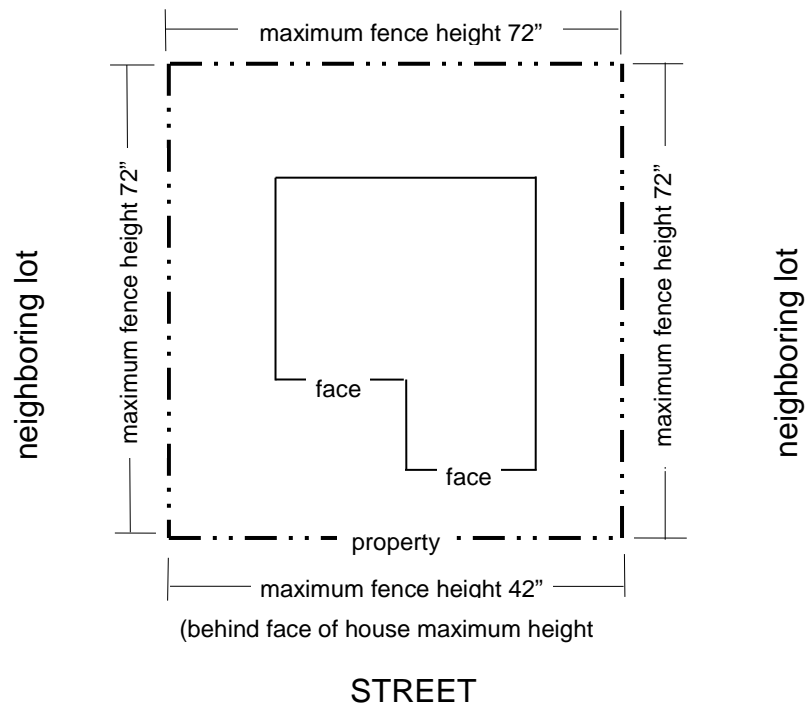


a driveway-to-street intersection may not exceed forty two inches (42") in height within ten feet (10') of the property line at the street (not the edge of pavement).  
[12-11-8]

**Maximum fence height, corner lot**



**Maximum fence height. Non-corner lot**



### ***The Old Town Design District (OT): Utilities (U)***

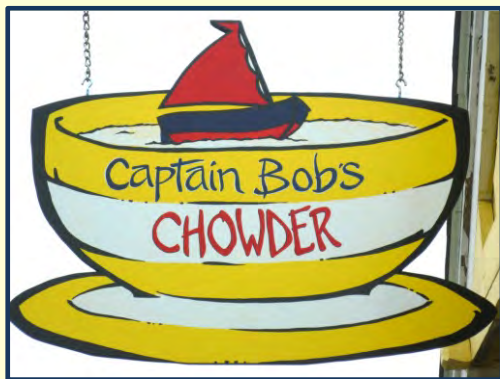
- OT-U1 Locate underground: Locate utilities lines underground.
- OT-U2 Decorative street lamps: Use decorative street lights.
- OT-U3 Decorative paving: Use decorative sidewalk paving.
- OT-U3 Screen utilities: Service areas for public utility boxes shall be screened.

### ***The Old Town Design District (OT): Mechanical Equipment and Service Areas (ME)***

- OT-ME1 Screen equipment: All ground-mounted mechanical equipment and service areas shall be screened from view.  
Fences, berms and plantings are appropriate screening methods.

### ***The Old Town Design District (OT): Signs (S)***

- OT-S1 Sign design: Signs that are simple in design and easily read are encouraged.



- Signs that use pictographics to convey the activity of the business are particularly encouraged.
- Painted wood signs are encouraged.

**OT-S2 Single business property. The maximum allowable sign area for a single business property is fifty (50) SF for the**



first street frontage and twenty five (25) SF for each additional street frontage, including one (1) freestanding sign not to exceed fifteen (15) SF. [12-14-5]

**OT-S3 Multiple tenant building.** The maximum allowable sign area for a multi-tenant building is two (2) SF per linear foot of street frontage up to one hundred and fifty (150) SF, including one (1) freestanding sign up to thirty five (35) SF. [12-14-5]



**OT-S4 Multiple-building complex.** The maximum allowable sign area for a multi-building complex is one (1) SF per linear foot of street frontage up to 75 SF, including 1 freestanding sign up to twenty five (25) SF; plus one (1) wall sign per business not to exceed one (1) SF per linear foot of wall frontage per business. [12-14-5]

**OT-S5 Sign height:** The maximum height of a freestanding sign in the OT zone is eight feet (8'); in the OTW zone it is twelve feet (12'). [12-14-5]

**OT-S6 Sign/site integration:** A sign should appear to be integrated into its setting.

- If mounted on a building, a sign should appear to be a part of architecture and fit within architectural features.
- If mounted on the ground, a sign should appear to be an integral part of the landscaping.



- A freestanding sign should have a low profile.
- Low scale monument signs, integrated into bermed earth forms, are encouraged.

**OT-S7 Sign/building integration:** A sign should appear to be in proportion to its building.

- Signs should have materials and colors that are similar to those of the building.



- OT-S8 Consistent sign design: For multi-tenant buildings or multi-building complexes, have a consistent design approach to signage.
- Directory signs should be used to identify multiple businesses in one location.
  - Align signs, and use similar shapes to improve legibility.
- OT-S9 **Lighting: Signs may only be lighted by concealed, indirect lighting; flashing, gas-filled, or internally lit signs are prohibited. [12-14-5; 12-14-8(D)]**
- OT-S10 **Prohibited signs: The following are specifically prohibited and illegal:**
- Signs located in such a manner as to obstruct or otherwise interfere with an official traffic sign, signal or device, or which obstruct or interfere with a driver's view of approaching, merging or intersecting traffic. [12-14-8(A)]
  - Except as provided in design review, signs encroaching upon or overhanging any street or public right-of-way. [12-14-8(B)]
  - No sign shall be attached to any utility pole, light standard, street tree or any other public facility located within the public right-of-way. [12-14-8(C)]
  - Signs that blink, flash or are animated by lighting in any fashion. [12-14-8(D)]
  - Portable signs, except for temporary signs as set forth in design review. [12-14-8(E)]
  - Advertising vehicles or any sign attached to, or placed on, a vehicle or trailer parked on any public or private property, except for signs meeting the following conditions:
    - The primary purpose of such vehicle or trailer is not the display of signs.
    - The signs are magnetic, decals, or painted upon an integral part of the vehicle or equipment as originally designed by the manufacturer, and do not break the silhouette of the vehicle.
  - The vehicle or trailer is in operating condition, currently registered and licensed to operate on public streets when applicable, and actively used or available for use in the daily function of the business to which such signs relate. [12-14-8(F)]
  - Balloons, streamers, pennants, or pinwheels, except those temporarily displayed as part of a special sale, promotion or community event, as set forth in section 12-14A-12 of this title. For the purposes of this subsection, "temporarily" means no more than a total of sixty (60) days in any calendar year. [12-14-8(G)]

- Any sign constructed upon or attached to the roof of a building or structure. For the purposes of this subsection, the face of a mansard roof or fascia shall not be considered to be a part of the roof. [12-14-8(H)]
- Billboards. [12-14-8(I)]
- Inflatable signs. [12-14-8(J)]



## **4.4 For RC, C1, and C2 Zones (and condition uses in L1): The Neighborhood Commercial Design District**

### **4.4.1 Context**

The Neighborhood Commercial District continues along Pacific Highway north and south of the Old Town District. It represents the continuation of commercial activity extended from the



downtown core outward. The Residential Commercial zone, located along Pacific Highway northward from Old Town is a mix of old and new homes, businesses, and mixed use buildings. Further north is the C1 Commercial zone along the highway that is predominantly modern businesses with a few scattered homes. C1 also occurs along the highway immediately south of the Old Town District. The C2 Commercial Retail Warehouse zone is scattered amongst a few parcels located east of Pacific Highway. The Neighborhood Commercial design

district does not include intensive activities that might have a negative impact on residences, such as those that emit noise, light, smells or vibrations. Development is encouraged that will provide visual compatibility between a variety of uses, and that will reinforce the twentieth century (early) seashore architectural theme.

The Neighborhood Commercial design district represents a relatively high number of development opportunities. Anticipated uses include retail, galleries, offices, restaurants, personal services, hotels, vacation rentals, and community retail and services. Residences may also occur in the RC zone on upper stories. Parking is required.

### **4.4.2 Desired Image**

The image desired for the Neighborhood Commercial design district is a vibrant commercial area attractive to motorists and pedestrians alike.



#### 4.4.3 Architectural Styles

This district should visually relate to the Old Town commercial core, and buildings should be designed in the early seashore architectural style. Within the context of this style, the creative use of wood as a building tradition is strongly encouraged, and direct imitation of historic styles is



discouraged. Although the use of wood is required, creativity and variety in how it is used is encouraged in order to create a diversity of building fronts.

#### 4.4.4 Standards and Guidelines for the Neighborhood Commercial Design District

Below are design guidelines that should be incorporated into a project located in the Neighborhood Commercial design district. Guidelines in **boldface** type are mandatory, and where applicable, references to their location within the City code are in brackets. Other guidelines are preferences or suggestions, and should be incorporated where appropriate and to the extent feasible into project design. The Neighborhood Commercial design district represents more than one zone; unless otherwise specified, the guidelines apply to all zones within the design district.



##### ***The Neighborhood Commercial Design District (NC): Site Design (SD)***

**NC-SD1 Lot size:** The minimum buildable lot size is 5,000 SF. [12-6C-4(A)(1); 12-7A-4(A)(1); 12-7B-4(A)(1); 12-7C-4(A)(1)]



- NC-SD2 Lot coverage in the RC zone: No more than seventy-five percent (75%) of any lot shall be covered by structures and/or impermeable surfaces. [12-6C-4(A)(2)]**
- NC-SD3 Lot coverage in the C1, C2, and L1 zones: No maximum. [12-7A-4(A)(2); 12-7B-4(A)(2); 12-7C-4(A)(2)]**
- NC-SD4 Setbacks in the RC zone:**
- Front yard: zero to a maximum of twenty feet (20') on Pacific Highway; zero minimum and no maximum on other streets**
- Side yard: five feet (5') minimum**
- Rear yard: five feet (5') minimum**
- Corner Lots and Multiple Street Frontages: Zero minimum to a maximum of twenty feet (20') along Pacific Avenue; five-foot (5') minimum to Ocean Beach Boulevard; zero minimum to all other street sides.**
- **The ground level of the building, to a height of at least ten feet (10') but excluding porch columns and railings, shall not be located in a vision clearance triangle, formed by measuring twenty feet (20') along each property line from the intersection of the two streets and connecting the end points of such lines formed by such measurements.**
  - **Porch roofs, balconies, canopies, bays, upper floors and similar features shall be permitted to project into the vision clearance triangle, provided the lowest point of the overhang or projection has a clearance of at least ten feet (10') above the sidewalk grade on Pacific Avenue, if abutting, or the level of the adjacent street for all other frontages. [12-6C-4(A)(3)]**
- NC-SD5 Setbacks in the C1 zone: None, except as may be required on a case-by-case basis by design review. [12-7A-4(A)(3)]**
- NC-SD6 Setbacks in the C2 and L1 zones: Ten feet (10') minimum to property lines abutting residential zones; all other property lines, no minimum. [12-7B-4(A)(3); 12-7C-4(A)(3)]**
- NC-SD7 Site design and landscaping: Define site edges and add visual interest with landscaping, including plants, fences, and some hardscape.**
- NC-SD8 Area to be landscaped: Where buildings are not built to the property line, the area between the building and the property line shall be landscaped or otherwise treated as an outdoor amenity. The area may be finished as hardscape with planters, or may be planted with landscape materials, provided the reviewing authority finds the proposed design enhances the proposed development and the surrounding area. Street furniture may also be included in the design. [12-13-2]**
- **Hardscape areas such as patios may be a part of the landscaping, provided planters are included in the design and the space is designed as an outdoor amenity.**



**NC-SD9 Landscape strips:** Non-residential and multi-family development or additions and alterations that have a value of fifty percent (50%) or more of the existing structure and that abuts a residential zoned property shall provide a landscape strip along the common property line. The required landscaping strip shall be a minimum of five feet (5') in width and consist primarily of a mixture of evergreen and deciduous trees and shrubs. Ground cover and smaller plantings may also be used but shall not be used

exclusively. A decorative solid wood fence six feet (6') in height may be allowed by the reviewing authority in lieu of the landscaping buffer. The intent shall be to screen the view of the commercial activity from the residential use. [12-13-1(A)]

NC-SD10 Landscaping and building design: Landscaping shall be used where necessary to mitigate the height, bulk, or scale of buildings.

NC-SD11 Landscaping to screen parking: Landscaping or landscaped berms shall be used to partially screen parking areas from view from adjacent streets or building occupants.

NC-SD12 Landscaping to screen commercial uses: Landscaping shall be used to screen commercial uses from the view of adjacent residences.

**NC-SD13 Landscape materials:** Required landscaping shall be predominantly native or plant materials suited to the coastal setting. Consideration should be given to the appearance of the landscaping in all seasons. Landscaping plans shall be designed to conserve and make efficient use of water. Plant sizes shall be used that will best ensure their survival, and to provide coverage within two (2) years. Deciduous trees should have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees should be a minimum of six feet (6') tall at time of planting. Ground cover materials such as gravel or bark may be used only if



**approved as part of the overall landscaping plan and shall be limited. Land disturbed by development activities shall be revegetated at least to its pre-development condition. [12-13-1(C)]**

- Along Pacific Avenue and Ocean Beach Boulevard, landscaping should be used to provide visual interest for pedestrians. In the shoreline areas, plants shall complement the natural dune setting.

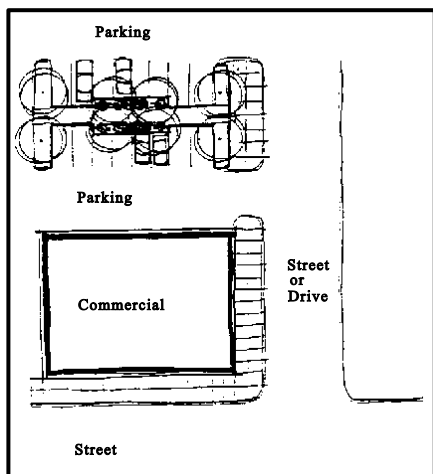
**NC-SD14 Integration with stormwater plans: Wherever possible, the landscaping plan shall be coordinated with the stormwater plan, where required for the development, and shall be designed to help control and reduce stormwater runoff. Low impact development techniques are encouraged. [12-13-1(D)]**



- Design drainage areas such that they will also serve as site amenities. For example, landscape storm water detention areas.

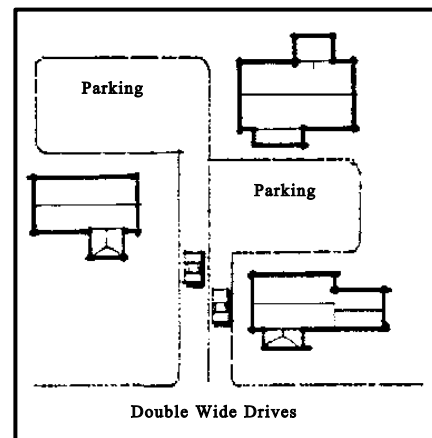
**NC-SD15 Site run-off:** Design site drainage such that it does not impact adjoining properties. Drain surface water run-off to points where it can discharge to the municipal storm drainage system.

**NC-SD16 Parking lot run-off:** The use of porous materials in parking lots is encouraged to minimize storm run-off, while sufficient smooth hard surface is provided to provide access to persons with mobility impairment.



**NC-SD17 Location of parking:** It is preferred that parking be placed on the side or to the rear of the building. [12-10A-1(B)(10)]

**NC-SD18** No new curb cuts shall be allowed along Pacific Highway.



**NC-SD19 Off-street parking requirements in the C1, C2, and L1 zones:** The following apply:

<b><u>Type of Use</u></b>	<b><u>Parking Space Required<sup>(1)</sup></u></b>
<b>Art gallery, library, museum</b>	<b>1 per 800 SF of gross floor area, plus 1 per 2 employees</b>
<b>Bakery, confectionery</b>	<b>1 per 400 SF of gross floor area</b>
<b>Church, theater, community hall</b>	<b>1 per 6 seats or 12 feet of bench</b>
<b>Commercial amusements</b>	<b>1 space per 300 SF of ground area</b>
<b>Gas station</b>	<b>1 per 2 employees</b>
<b>Motels, hotels, itinerant condominiums, time shares</b>	<b>1 per unit, plus 1 per each employee and 2 for a manager's unit</b>
<b>Multi-family residences, three or more dwellings</b>	<b>1 for each studio or one-bedroom unit; 1.5 for each two-bedroom unit; 2 for each 3-bedroom or larger unit; plus 1 visitor space for every 4 dwelling units</b>
<b>Offices, including banks, medical clinics, and professional offices</b>	<b>1 per 400 SF of gross floor area</b>
<b>One and two-family residences</b>	<b>2 per dwelling unit; tandem parking allowed</b>
<b>Private clubs, lodges</b>	<b>1 per 4 seats</b>
<b>RV parks and campgrounds</b>	<b>1 per RV space or campsite, plus 1 per employee and 2 for a manager's unit</b>
<b>Restaurants, eating and drinking establishments</b>	<b>1 per 200 SF of gross floor area; drive-through stacking to be evaluated by the reviewing authority</b>
<b>Retail stores, such as grocery stores, tourist shops, furniture stores</b>	<b>1 per 400 SF of gross floor area, plus 1 per 2 employees</b>
<b>Schools, elementary, nursery</b>	<b>1 per employee or teacher</b>
<b>Senior citizen homes, convalescent centers</b>	<b>1 per 6 beds, plus 1 for every 3 employees</b>
<b>Similar uses or aggregate</b>	<b>To be evaluated by the planning commission on a case by case basis, based on the above standards</b>

- (1) Where parking is required for employees, the number shall be calculated based on the maximum number of full-time-equivalent (FTE) employees per maximum shift.

[12-12-2(A)]



**NC-SD20 Off-street parking requirements on the RC zone: Same as above, except as follows:**

- **Offices, excluding banks and medical clinics, shall provide one (1) parking space per eight hundred (800) square feet of gross floor area.**
- **Retail stores with a gross floor area of three thousand five hundred (3,500) square feet or less shall provide one (1) parking space per eight hundred (800) square feet of gross floor area.**
- **There shall be a minimum of two (2) parking spaces provided, regardless of the use. [12-12-2(C)]**

**NC-SD21 Parking space dimensions: An off street parking space shall be at least nine feet (9') in width and eighteen feet (18') in length. Such space shall have a vertical clearance of at least seven feet (7'). For parking areas where at least ten (10) spaces are required, a maximum of fifty percent (50%) of required spaces may be utilized as compact stalls measuring eight feet (8') wide by sixteen feet (16') in length. [12-12-2(D)(2)]**

**NC-SD22 Ingress and egress: The maximum allowable width of ingress and egress access points for an off street parking lot shall be fifteen feet (15') for a one-way access point and twenty-five feet (25') for a two-way access point, except the approving authority may approve a one-way access point that is twenty feet (20') wide or a two-way access point that is thirty feet (30') wide, provided the following criteria are met:**

- **The wider access point is necessary to allow safe ingress and egress for the type and size of vehicles customarily associated with the use of the property or for uses that have higher traffic volumes;**
- **Pedestrians will not be unduly impacted by the greater width; and**
- **The property is served by only one access point on each street frontage. [12-2-2(D)(3)]**

**NC-SD23 Location of off-street parking: Off street parking requirements shall be met on the same lot and zone as the building served, or off-site on a lot within two hundred feet (200') specifically reserved for said business's clientele. Multiple uses may share off-site parking facilities located on a separate lot(s), provided the number of spaces available meets the total requirement of all of the separate uses. Off-site parking shall be considered accessory to the use, as if it were located on the same site as the use. Off-site parking that is required for the use shall be secured in perpetuity through a deed, recorded easement or other document acceptable to the city. Off-site parking that is provided voluntarily in excess of the parking requirement will not be required to be secured in perpetuity and will be considered accessory to the use. [12-12-2(D)(4)]**

**NC-SD24 Surface conditions:** Parking lots shall have graveled or paved surfaces, maintained adequately for all weather use, and drained to avoid flow of water over public sidewalks, rights-of-way, and abutting private property. The use of low impact development techniques to reduce stormwater impacts is encouraged. [12-12-2(D)(5)]

**NC-SD25 Maneuvering space:** Maneuvering space (to prevent backing onto streets) shall be provided for all lots that provide access onto arterial streets. Internal driveway widths and circulation patterns shall be adequate to provide necessary maneuvering for vehicles, according to the design and layout of the parking lot. [12-12-2(D)(6)]

**NC-SD26 Multiple uses:** In the event that several uses occupy a single structure or parcel of land, the total requirements for off street parking shall be the sum of the requirements of the several uses computed separately, unless evidence is presented to the satisfaction of the reviewing authority that the various uses shall not be used simultaneously. [12-12-2(D)(7)]

**NC-SD27 Tandem parking:** Tandem or stacked parking is allowed for residential or itinerant lodging uses. Tandem or stacked parking is not allowed for any commercial use. For itinerant lodging, tandem or stacked parking shall only be permitted if a parking attendant is designated and on duty at all times. Such parking shall not be more than three (3) spaces deep. [12-12-2(D)(10)(b)]

**NC-SD28 Required parking berths:** Truck loading berths shall be required as follows:

Commercial, industrial, and public utility uses that have a gross floor area of three thousand five hundred (3,500) SF feet or more shall provide truck loading or unloading berths in accordance with the following table:

<u>Square Feet of Floor Area</u>	<u>Required Berths</u>
3,500 to 6,500	1
6,501 to 10,000	2
10,001 and over	3

Office buildings, hotels, motels, hospitals, institutions, schools, public buildings, recreational or entertainment facilities, and any similar use that has a gross floor area of ten thousand (10,000) SF or more shall provide off street loading or unloading berths in accordance with the following table:

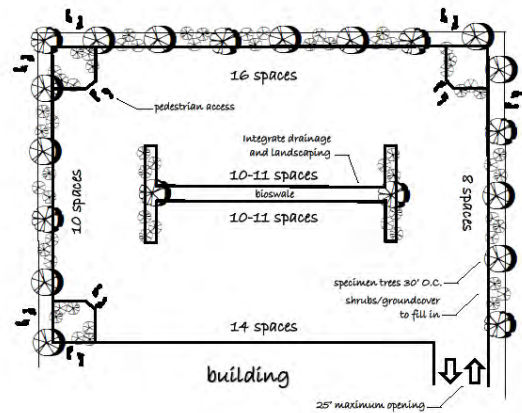
<u>Square Feet of Floor Area</u>	<u>Required Berths</u>
10,000 to 50,000	1
50,001 and over	2

[12-12-3(A)]

**NC-SD29 Berth dimensions:** A loading berth shall contain space at least twelve feet (12') wide, thirty feet (30') long, and have a height clearance of at least fourteen feet (14'). [12-12-3(B)]

**NC-SD30 Visual impact of parking:** Minimize the visual impact of parking lots via the following techniques:

- Divide large parking lots into smaller areas, which are separated by landscaping.
- **Parking lots shall be screened from view of the adjoining street by a landscape strip that is an average of at least five feet (5') in depth but not less than three feet (3'), excluding driveways and pedestrian walkways. The required landscape strip shall consist of evergreen and deciduous trees planted not more than thirty feet (30') on center, interspersed with large and small shrubs and ground cover. Plantings of shrubs and ground covers shall be chosen and spaced to result in a covering of the landscape strip within two (2) years. Shrubs shall be of a type that does not exceed a height at maturity of approximately three (3) to four feet (4'). Deciduous trees shall have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees shall be a minimum of six feet (6') tall at time of planting.** [12-13-1(B)(1)]



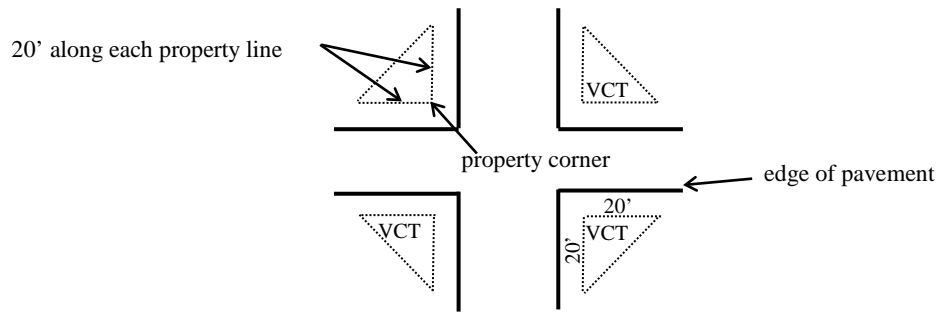
- **Parking areas of more than six (6) spaces shall be landscaped with not less than 400 SF of landscaping.** [12-13-1(B)(2)]

**NC-SD31 Site decoration:** Locate site decorations within landscaped areas.

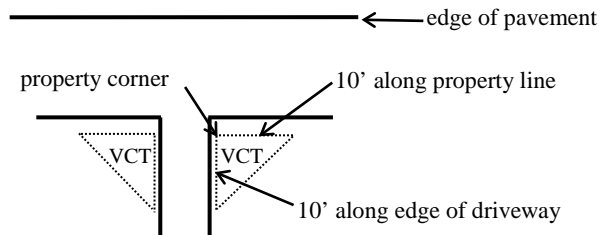
- Site decorations should accurately convey the heritage of the community.
- Symbols and product forms that convey the nature of the business conducted are also appropriate as site decorations.

**NC-SD 32 Vision clearance triangle (VCT):** The VCT is the corner of an intersection of a street another street, alley or driveway, formed by measuring a specific distance along each street, alley or driveway from the property corner and connecting the two end points to form a triangle. The vision clearance triangle is maintained clear of landscaping, fences and other obstructions of a certain height, generally the area between forty two inches (42") to ten feet (10') above the adjacent street level, which would block the visibility of vehicle, bicycle, or pedestrian traffic.[12-2-1; 12-13-10]

### **VCT at Street-to-Street Intersection**



### **VCT at Driveway/Street Intersection**



### ***The Neighborhood Commercial Design District (NC): Building Design (BD)***

**NC-BD1 Building height:** The maximum height of a structure shall be thirty-five feet (35'), except that in the RC zone only the maximum height of an accessory building with a gross floor area of less than two hundred (200) square feet shall be fifteen feet (15'). [12-6C-4(B); 12-7A-4(B); 12-7B-4(B); 12-7C-4(B)]

**NC-BD2 Building alignment:** Align the majority of a storefront near the main roadway, and away from nearby residential uses, if any.

**NC-BD3 Mass and scale:** New structures and additions should reinforce the existing range of building heights in the district by one or more of the following techniques:

- Maintain existing one- and two-story building heights.
- Use horizontal elements, such as cornices and moldings, to express the typical one and two story heights. Taller portions of buildings may be set back.
- Buildings may be taller than two stories, but should have elements that express these traditional heights.
- Align storefront elements with others on the street, where feasible, to enhance the sense of scale of the street.

**NC-BD4 Horizontal emphasis:** Large buildings should have horizontal emphasis by using horizontal moldings, marquees and canopies.

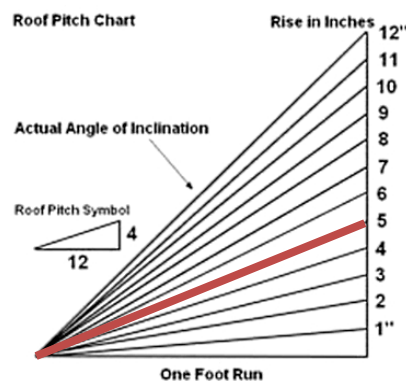
**NC-BD5 Façade width:** Primary facades should express dimensions of typical storefront widths traditionally found on the street:



- Most buildings have a facade width of twenty five feet (25'), or multiples of this dimension.
- New buildings should have facade elements that express these traditional proportions, thereby reinforcing this established rhythm. For example, vertical trim boards placed every twenty five feet (25') would reinforce the traditional rhythm.

NC-BD6 Building orientation: Primary entrances and display windows should be oriented to the sidewalk. Blank walls must not face major sidewalks. Building faces should provide visual interest; include display windows, decorative patterns and landscaping to emphasize an orientation to the sidewalk.

NC-BD7 **Roofs: A roof pitch of 5:12 or greater is required. The approving authority may**



**allow a more shallow pitch or a flat roof on commercial or mixed use buildings where the pitch of the roof is concealed from the primary street frontage by a false front that extends across at least fifty percent (50%) of the width of the building's street frontage. Shallower roof pitches on projecting features such as bays and porches may be permitted where the form of the elements is complementary to the overall form and character of the building. [12-10A-1(B)(1)]**

NC-BD8 Roofing materials: Where roofs are visible, black composite roofing shingles are encouraged. Tan or earth-tone colored composition shingles are also allowed, as are wood shingles.

NC-BD9 **Wood siding: A minimum of eighty percent (80%) of the building's total exterior siding exposure shall be cedar shingle, lap, or clapboard siding with an exposure not to exceed eight inches (8"). Sheet siding shall not be used, except when battens are applied, so board and batten siding may also be used. The use of glass for window displays is encouraged, and shall be counted toward the wood siding requirement. Cement board siding that is similar in appearance to permitted siding materials shall be allowed. [12-10A-1(B)(2)]**

NC-BD10 **Accent materials: If used, not more than twenty percent (20%) of the building's total exterior siding exposure may be materials other than wood or cement-based siding. Materials that may be used include masonry (stone, brick or split-faced block), sheet or corrugated metal, or other styles of wood siding. Sheet siding shall not be used, except when battens are applied. Materials should be used as accents to highlight the form and architectural details of the building.**

Cement board siding that is similar in appearance to permitted accent materials shall be allowed. [12-10A-1(B)(3)]

**NC-BD11 Finishes:** Natural, painted or stained finishes are permitted. Muted natural or neutral colors are required in shoreline areas. [12-10A-1(B)(4)]

**NC-BD12 Trim:** Trim should be provided around all windows, doors and to accent the architecture of the building. Trim should be painted in a contrasting color, but may be left unfinished if the exterior siding material is also unfinished. [12-10A-1(B)(5)]

**NC-BD13 Roof Ridge:** One vertical change in elevation of a minimum of three feet (3') shall occur in every fifty foot (50') run of roof. As an alternative, one or more of the following may be applied:

- The use of dormers may be proposed as an alternative to a three foot (3') change in elevation. If dormers are used, there shall be not less than two (2) dormers per fifty feet (50') of roof run , and each dormer must span at least eighty percent (80%) of the roof face from ridge to eaves.
- A cross gable may be used as an alternative to a three-foot (3') change in elevation. There shall be at least one cross gable for each fifty feet (50') of roof run. The face of the cross gable must be in the same plane as the building facade and the ridge of the cross gable shall be no more than two feet (2 feet) below the primary ridge.
- The use of cupolas may be proposed as an alternative to a three foot (3') change in elevation. If cupolas are used, there must be at least one cupola per fifty feet (50') of roof run or fraction in excess of fifty feet (50'). Cupolas shall be sized proportional to the building by being not less than one foot (1') in height per ten feet (10') of roof run. The height of cupolas shall also comply with the requirements of section 12-10-3 of this title. [12-10A-1(B)(6)]



**NC-BD14 False Fronts:** For buildings in the C1 zone only, false fronts are permitted on buildings fronting SR 103 (Pacific Avenue) and Ocean Beach Boulevard. False fronts used to conceal a roof pitch less than 5:12 shall extend at least fifty percent (50%) of the width of the building's frontage. [12-10A-1(B)(7)]

**NC-BD15 Façades:**

- For buildings in the C1 zone with frontage on Pacific Avenue, windows, porches, or other features that provide visual interest and scale are encouraged. [12-10A-1(B)(8)(b)]
- For buildings in the RC zone with frontage on Pacific Avenue, porches, bays and other residential-style features are encouraged. [12-10A-1(B)(8)(c)]

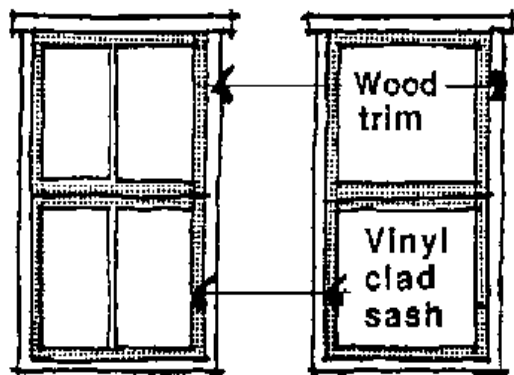
**NC-BD16 Door materials:** Wood doors or synthetic doors that appear to be wood are preferred. [12-10-7(C)(4)]

**NC-BD17 Door design:** Primary entry doors should be glass or have an upper panel of glass to simulate historic design and to provide views into building interiors to enhance interest to pedestrians.

**NC-BD18 Recessed entries:** Primary entrances shall be located in recessed entries to provide shelter for pedestrians and interest to the street.

**NC-BD19 Window materials:** Wood-cased windows or wood-appearing synthetic windows are

preferred. If synthetic windows are to be used, they must have wood trim, or casing, to "tie" them in with the wood siding.



**NC-BD20 Upper-story windows:** Windows with vertical proportions are preferred on upper stories. These may be combined in sets to create larger areas of glass.

**NC-BD21 In C2 zone only:** For commercial property completely surrounded by noncommercial districts and uses, design review requirements shall be compatible with those of the surrounding districts. [12-10A-1(B)(15)]

**NC-BD22 In C1 zone only:** Single-family housing units shall be designed and sited to accommodate their future conversion to nonresidential use. [12-10A-1(B)(16)]

**NC-BD23 In the RC zone only:** Buildings shall be primarily residential in character but designed to facilitate conversion between residential and commercial uses. [12-10A-1(B)(17)]

**NC-BD24 Lighting:** Recessed lighting is encouraged. Flashing lights are not allowed.

NC-BD25 Historic appearance: Where substantiated by photographs, physical evidence or other historical documentation, the reviewing authority may approve alterations and additions to historic buildings that are not otherwise permitted. A building may be considered historic if it is more than fifty (50) years of age, is architecturally or aesthetically important, or has cultural significance. The intent is to preserve the historic appearance of the building, or restore it to its original historic appearance, not to permit buildings that do not comply with design requirements and that have no historic, cultural or aesthetic value to the city. There must be a demonstrated effort to preserve, restore or rehabilitate the entire building, such that the project generally meets the “Secretary of the Interior’s Standards for the Treatment of Historic Properties,” which may be used by the reviewing authority as alternate design guidelines where appropriate.

### ***The Neighborhood Commercial District (NC): Ornamentation (O)***

NC-O1 Detail encouraged: The use of ornamental detail is encouraged.

NC-O2 Type of detail. Ornamental detail should not convey a false sense of history for the area, but modern interpretations of historic details are encouraged.

NC-O3 Location of detail: Details should be located such to provide visual interest to pedestrians. False front cornices, roof gables, eaves, and marquees are appropriate locations. Detailing is also appropriate around doors and windows.



NC-O4 Integration of detail: Ornamental detail should appear to be integrated into the overall architectural composition.

### ***The Neighborhood Commercial Design District (NC): Fences (F)***

NC-F1 Fences encouraged: The use of fences is encouraged to define the edges of open areas.

**NC-F2 Preferred fences: Decorative fences are preferred, particularly wooden picket fences. [12-10-7(C)(5)]**

- Painted metal fences that are simple in character may also be considered.

NC-F3 Non-preferred fences: Chain link and split rail wood fences are not encouraged.





- NC-F4 Fence height: Any front or side yard fence located along the street and in front of the principal building may not exceed forty two inches (42”) in height. Any fence at a driveway-to-street intersection may not exceed forty two inches (42”) in height within ten feet (10’) of the property line (not the edge of pavement at the street).

***The Neighborhood Commercial District (NC): Utilities (U)***

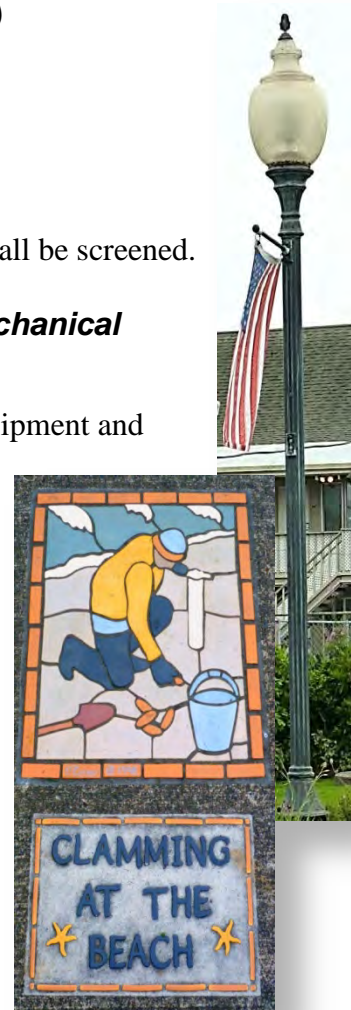
- NC-U1 Locate underground: Locate utilities lines underground.
- NC-U2 Decorative street lamps: Use decorative street lights.
- NC-U3 Decorative paving: Use decorative sidewalk paving.
- NC-U3 Screen utilities: Service areas for public utility boxes shall be screened.

***The Neighborhood Commercial Design District (NC): Mechanical Equipment and Service Areas (ME)***

- NC-ME1 Screen equipment: All ground-mounted mechanical equipment and service areas shall be screened from view. Fences, berms and plantings are appropriate screening methods.

***The Neighborhood Commercial District (NC): Signs (S)***

- NC-S1 Sign design: Signs that are simple in design and easily read are encouraged.
- Signs that use pictographics to convey the activity of the business are particularly encouraged.
  - Painted wood signs are encouraged.
- NC-S2 **Single business property. The maximum allowable sign area for a single business property is one hundred (100) SF, including one (1) freestanding sign not to exceed twenty five (25) SF. [12-14-5]**
- NC-S3 **Multiple tenant building. The maximum allowable sign area for a multi-tenant building is two (2) SF per linear foot of street frontage up to one hundred and seventy five (175) SF, including one (1) freestanding sign not to exceed fifty (50) SF. [12-14-5]**
- NC-S4 **Multiple-building complex. The maximum allowable sign area for a multi-building complex is one (1) SF per linear foot of street frontage up to one hundred (100) SF, including 1 freestanding sign up to fifty (50) SF; plus one (1) wall sign per business not to exceed one (1) SF per linear foot of wall frontage per business. [12-14-5]**



- NC-S5 **Sign height: The maximum height of a freestanding sign is sixteen feet (16'). [12-14-5]**
- NC-S6 Sign/site integration: A sign should appear to be integrated into its setting.
- If mounted on a building, a sign should appear to be a part of architecture and fit within architectural features.
  - If mounted on the ground, a sign should appear to be an integral part of the landscaping.
  - A freestanding sign should have a low profile.
  - Low scale monument signs, integrated into bermed earth forms, are encouraged.
- NC-S7 Sign/building integration: A sign should appear to be in proportion to its building.
- **Signs should have materials and colors that are similar to those of the building.**
- NC-S8 Consistent sign design: For multi-tenant buildings or multi-building complexes, have a consistent design approach to signage.
- Directory signs should be used to identify multiple businesses in one location.
  - Align signs, and use similar shapes to improve legibility.
- NC-S9 **Lighting: Signs may be lighted by concealed, indirect lighting.**
- NC-S10 **Internal illumination in C1 and RC only: Internally illuminated signs permitted in C1 and RC only, provided the signs are located on frontage facing Pacific Avenue (located between the building and the highway). Internally illuminated signs shall count against the sign allocation at a 2:1 ratio. Each square foot of internally illuminated sign shall be calculated as two (2) square feet. [12-14-5, sign allocation matrix note 1]**
- NC-S10 **Prohibited signs: The following are specifically prohibited and illegal:**
- **Signs located in such a manner as to obstruct or otherwise interfere with an official traffic sign, signal or device, or which obstruct or interfere with a driver's view of approaching, merging or intersecting traffic. [12-14-8(A)]**
  - **Except as provided in design review, signs encroaching upon or overhanging any street or public right-of-way. [12-14-8(B)]**
  - **No sign shall be attached to any utility pole, light standard, street tree or any other public facility located within the public right-of-way. [12-14-8(C)]**
  - **Signs that blink, flash or are animated by lighting in any fashion. [12-14-8(D)]**
  - **Portable signs, except for temporary signs as set forth in design review. [12-14-8(E)]**

- Advertising vehicles or any sign attached to, or placed on, a vehicle or trailer parked on any public or private property, except for signs meeting the following conditions:
  - The primary purpose of such vehicle or trailer is not the display of signs.
  - The signs are magnetic, decals, or painted upon an integral part of the vehicle or equipment as originally designed by the manufacturer, and do not break the silhouette of the vehicle.
- The vehicle or trailer is in operating condition, currently registered and licensed to operate on public streets when applicable, and actively used or available for use in the daily function of the business to which such signs relate. [12-14-8(F)]
- Balloons, streamers, pennants, or pinwheels, except those temporarily displayed as part of a special sale, promotion or community event, as set forth in section 12-14A-12 of this title. For the purposes of this subsection, "temporarily" means no more than a total of sixty (60) days in any calendar year. [12-14-8(G)]
- Any sign constructed upon or attached to the roof of a building or structure. For the purposes of this subsection, the face of a mansard roof or fascia shall not be considered to be a part of the roof. [12-14-8(H)]
- Billboards. [12-14-8(I)]
- Inflatable signs. [12-14-8(J)]



## 4.5 For AC, S3, S3R, and S3M Zones: The Shoreline Resort Design District

### 4.5.1 Context

The Shoreline Resort District lies between Ocean Beach Boulevard and the shoreline, its lands formed by materials transported down the Columbia River and that have built up, or “accreted”



to form the Peninsula. The topography is low and rolling, with dunes and intermittent wetlands. Dune grasses and shore pines give this area a natural, coastal character. Interspersed among privately-owned parcels are publicly held lands. These lands are retained as natural and recreational areas, which contribute to a sense of wildness, and which are key to the natural character of this district. This district serves as the visitor’s primary lodging location, with some visitor-serving amenities as well. In addition, the Shoreline Resort District is adjacent to the beach and the location of the City’s boardwalk and a portion of the Discovery Trail. For this reason, people pass through it east-west to and from the beach, and they also traverse it north-south along the main dune trails. In this manner, many experience the natural setting of the dunes and also come in close contact with buildings located there. For that reason, the siting and design of projects in this area must be compatible with their setting, and buildings must reflect a Coastal Resort or other style appropriate for this natural setting.





### 4.5.2 Desired Image

The image desired for the Shoreline Resort District is one of nature in harmony with modern coastal development. The accreted dune lands offer an opportunity for the city to accommodate new development while retaining the natural coastal environment. This area, if developed in a manner that establishes a distinct coastal character, can greatly contribute to the city's economic



well-being

while also enhancing the quality of life for residents and visitors.

Anticipated uses in the Shoreline Resort District include—depending on zoning—itinerant lodging (B&B/hotel/motel/vacation rentals), multi-family residences (in S3M), restaurants, conference complexes, parks, theaters, and retail (and in S3, amusements as a conditional use).

The natural coastal land form and vegetation, along with views of the ocean, are the primary assets of the Shoreline Resort District, and these assets should be retained while accommodating new development. Specifically, the “natural” sand dune character is to be retained. Natural seashore vegetation, including dune grasses, should be maintained where feasible.

### 4.5.3 Architectural Styles

Although building types similar to those found in Old Town exist and are expected to be constructed in the Shoreline Resort District, their architectural treatment should be distinguishable from Old Town. This is true, even though many uses will be the same as those found in Old Town. For example, buildings should not directly imitate historic commercial buildings. Instead, contemporary interpretations of these traditional building types are preferred.

In the Shoreline Resort District, desired architectural styles are Early Seashore, Coastal Resort, Craftsman, and Cape Cod. Repeating these styles throughout the area will help to establish a sense of visual continuity. The creative use of wood as a building tradition is strongly

encouraged. In this district, the Early Seashore style in its contemporary interpretations is most fitting for buildings located near sidewalks, in conventional grid settings. Where buildings are set back from the street, or are not oriented on a strong traditional street grid, then Coastal Resort, Craftsman, and Cape Cod are the most fitting styles.



The overall landscape character should be natural dunes connected by trails. Development may be more "urban" along street edges than in interior lots.

#### **4.5.4 Standards and Guidelines for the Shoreline Resort Design District**

Below are design guidelines that should be incorporated into a project located in the Shoreline Resort design district. Guidelines in **boldface** type are mandatory, and references to their location within the City code are in brackets. Other guidelines are preferences or suggestions, and should be incorporated where appropriate into project design. The Shoreline Resort design district represents more than one zone; unless otherwise specified, the guidelines apply to all zones within the design district.

##### ***The Shoreline Resort (SR) Design District: Site Design (SD)***

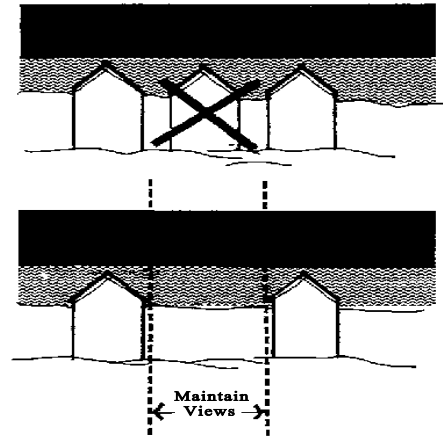
**SR-SD1 Lot size: The minimum buildable lot size is 10,000 SF. [12-6D-4(A)(1); 12-8C-4(A)(1); 12-8D-4(A)(1); 12-8E-4(A)(1)]**

**SR-SD2 Maximum lot coverage:** No more than seventy-five percent (75%) of any lot shall be covered by structures and/or impermeable surfaces. [12-6D-4(A)(2); 12-8C-4(A)(2); 12-8D-4(A)(2); 12-8E-4(A)(2)]

**SR-SD4 Setbacks:** None, as except may be required through design review. [12-6D-4(A)(3); 12-8C-4(A)(3); 12-8D-4(A)(3); 12-8E-4(A)(3)]

**SR-SD5** Locate buildings so they appear to be sited in the sand dunes.

- Avoid filling dune areas to create a larger building site, except that establishing a building elevation above flood levels is expected.
- Use berms and other sloping land forms against buildings to reduce the perceived building height.
- Retain existing topography where feasible; minimize fill.
- Establish a natural transition grade to neighboring properties.



**SR-SD6** Locate buildings so that views through the development are retained and open space maximized.

- Views from streets, and the beach in particular, should be preserved, where feasible.
- Locate buildings on the site so that side and rear yards may be combined visually with adjacent properties to increase the visual impact of open space.

**SR-SD7 Area to be landscaped:** Where buildings are not built to the property line, the area between the building and the property line shall be landscaped or otherwise treated as an outdoor amenity. The area may be finished as hardscape with planters, or may be planted with landscape materials, provided the reviewing authority finds the proposed design enhances the proposed development and the surrounding area. Street furniture may also be included in the design. [12-13-2]

- Hardscape areas such as patios may be a part of the landscaping, provided planters are included in the design and the space is designed as an outdoor amenity.

**SR-SD8 Landscape strips:** Non-residential and multi-family development or additions and alterations that have a value of fifty percent (50%) or more of the existing structure and that abuts a residential zoned property shall provide a landscape strip along the common property line. The required landscaping strip shall be a minimum of five feet (5') in width and consist primarily of a mixture of evergreen and deciduous trees and shrubs. Ground cover and smaller plantings

**may also be used but shall not be used exclusively. A decorative solid wood fence six feet (6') in height may be allowed by the reviewing authority in lieu of the landscaping buffer. The intent shall be to screen the view of the commercial activity from the residential use. [12-13-1(A)]**

SR-SD9 Landscaping and building design: Landscaping shall be used where necessary to mitigate the height, bulk, or scale of buildings.

SR-SD10 Landscaping to screen parking: Landscaping or landscaped berms shall be used to partially screen parking areas from view from adjacent streets or building occupants.

SR-SD11 Landscaping to screen commercial uses: Landscaping shall be used to screen commercial uses from the view of adjacent residences.

**SR-SD12 Landscape materials: Required landscaping shall be predominantly native or plant materials suited to the coastal setting. Consideration should be given to the appearance of the landscaping in all seasons. Landscaping plans shall be designed to conserve and make efficient use of water. Plant sizes shall be used that will best ensure their survival, and to provide coverage within two (2) years. Deciduous trees should have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees should be a minimum of six feet (6') tall at time of planting. Ground cover materials such as gravel or bark may be used only if approved as part of the overall landscaping plan and shall be limited. Land disturbed by development activities shall be revegetated at least to its pre-development condition. [12-13-1(C)]**



- Along Pacific Avenue and Ocean Beach Boulevard, landscaping should be used to provide visual interest for pedestrians. In the shoreline areas, plants shall complement the natural dune setting.



**SR-SD13 Integration with stormwater plans: Wherever possible, the landscaping plan shall be coordinated with the stormwater plan, where required for the development, and shall be designed to help control and reduce stormwater runoff. Low impact development techniques are encouraged. [12-13-1(D)]**



- Design drainage areas such that they will also serve as site amenities. For example, landscape storm water detention areas.

**SR-SD14** Design drainage areas such to serve as site amenities.

- Landscape storm water detention areas.
- Use open drainage ditches and line them with grasses and other appropriate plantings rather than installing underground pipes or constructing concrete channels.

**SR-SD15** Design site drainage such that it does not impact adjoining properties.

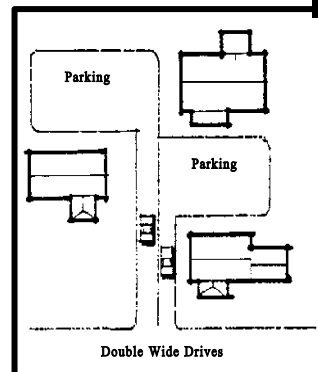
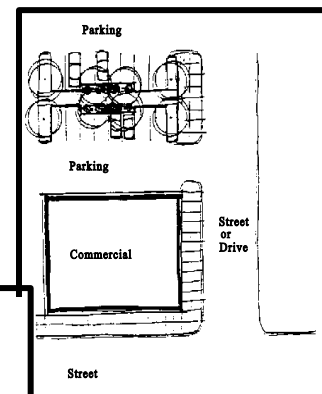
- **Storm run-off may not drain onto adjacent properties. [Uniform Plumbing Code, 1101.1]**
- Drain surface water to collection points such that it can be introduced into a municipal storm sewer system, where such a system is available.
- Storm drainage may not negatively affect adjacent wetland and natural areas. Use native plant materials to cleanse storm runoff in detention areas.

**SR-SD16** Parking lot run-off: The use of porous materials in parking lots is encouraged to minimize storm run-off, while sufficient smooth hard surface is provided to provide access to persons with mobility impairment.

**SR-SD17** Impervious cover. Minimize the amount of paved hard surfaces in order to retain a natural image and reduce storm run-off.

**SR-SD18** Location of parking. Parking should be located to the rear or interior of lots where practicable. Driveway sharing is allowed.

**SR-SD19** To the extent practicable, parking located in front of buildings that will also enhance the pedestrian-the area by minimizing the amount exposed to the edges of public



shall not be face the street. This oriented character of of parking that is sidewalks.

**SR-SD20 Off-street parking. The following apply:**

<b><u>Type of Use</u></b>	<b><u>Parking Space Required<sup>(1)</sup></u></b>
<b>Art gallery, library, museum</b>	<b>1 per 800 SF of gross floor area, plus 1 per 2 employees</b>
<b>Bakery, confectionery</b>	<b>1 per 400 SF of gross floor area</b>
<b>Church, theater, community hall</b>	<b>1 per 6 seats or 12 feet of bench</b>
<b>Commercial amusements</b>	<b>1 space per 300 SF of ground area</b>
<b>Gas station</b>	<b>1 per 2 employees</b>
<b>Motels, hotels, itinerant condominiums, time shares</b>	<b>1 per unit, plus 1 per each employee and 2 for a manager's unit</b>
<b>Multi-family residences, three or more dwellings</b>	<b>1 for each studio or one-bedroom unit; 1.5 for each two-bedroom unit; 2 for each 3- bedroom or larger unit; plus 1 visitor space for every 4 dwelling units</b>
<b>Offices, including banks, medical clinics, and professional offices</b>	<b>1 per 400 SF of gross floor area</b>
<b>One and two-family residences</b>	<b>2 per dwelling unit; tandem parking allowed</b>
<b>Private clubs, lodges</b>	<b>1 per 4 seats</b>
<b>RV parks and campgrounds</b>	<b>1 per RV space or campsite, plus 1 per employee and 2 for a manager's unit</b>
<b>Restaurants, eating and drinking establishments</b>	<b>1 per 200 SF of gross floor area; drive-through stacking to be evaluated by the reviewing authority</b>
<b>Retail stores, such as grocery stores, tourist shops, furniture stores</b>	<b>1 per 400 SF of gross floor area, plus 1 per 2 employees</b>
<b>Schools, elementary, nursery</b>	<b>1 per employee or teacher</b>
<b>Senior citizen homes, convalescent centers</b>	<b>1 per 6 beds, plus 1 for every 3 employees</b>
<b>Similar uses or aggregate</b>	<b>To be evaluated by the planning commission on a case by case basis, based on the above standards</b>

- (1) Where parking is required for employees, the number shall be calculated based on the maximum number of full-time-equivalent (FTE) employees per maximum shift.

**[12-12-2(A)]**

**SR-SD21 Parking space dimensions:** An off street parking space shall be at least nine feet (9') in width and eighteen feet (18') in length. Such space shall have a vertical clearance of at least seven feet (7'). For parking areas where at least ten (10) spaces are required, a maximum of fifty percent (50%) of required spaces may be utilized as compact stalls measuring eight feet (8') wide by sixteen feet (16') in length. [12-12-2(D)(2)]

**SR-SD22 Ingress and egress:** The maximum allowable width of ingress and egress access points for an off street parking lot shall be fifteen feet (15') for a one-way access point and twenty-five feet (25') for a two-way access point, except the approving authority may approve a one-way access point that is twenty feet (20') wide or a two-way access point that is thirty feet (30') wide, provided the following criteria are met:

- The wider access point is necessary to allow safe ingress and egress for the type and size of vehicles customarily associated with the use of the property or for uses that have higher traffic volumes;
- Pedestrians will not be unduly impacted by the greater width; and
- The property is served by only one access point on each street frontage. [12-2-2(D)(3)]

**SR-SD23 Location of off-street parking:** Off street parking requirements shall be met on the same lot and zone as the building served, or off-site on a lot within two hundred feet (200') specifically reserved for said business's clientele. Multiple uses may share off-site parking facilities located on a separate lot(s), provided the number of spaces available meets the total requirement of all of the separate uses. Off-site parking shall be considered accessory to the use, as if it were located on the same site as the use. Off-site parking that is required for the use shall be secured in perpetuity through a deed, recorded easement or other document acceptable to the city. Off-site parking that is provided voluntarily in excess of the parking requirement will not be required to be secured in perpetuity and will be considered accessory to the use. [12-12-2(D)(4)]

**SR-SD24 Surface conditions:** Parking lots shall have graveled or paved surfaces, maintained adequately for all weather use, and drained to avoid flow of water over public sidewalks, rights-of-way, and abutting private property. The use of low impact development techniques to reduce stormwater impacts is encouraged. [12-12-2(D)(5)]

**SR-SD25 Maneuvering space:** Maneuvering space (to prevent backing onto streets) shall be provided for all lots that provide access onto arterial streets. Internal driveway widths and circulation patterns shall be adequate to provide necessary

maneuvering for vehicles, according to the design and layout of the parking lot. [12-12-2(D)(6)]

**SR-SD26 Multiple uses:** In the event that several uses occupy a single structure or parcel of land, the total requirements for off street parking shall be the sum of the requirements of the several uses computed separately, unless evidence is presented to the satisfaction of the reviewing authority that the various uses shall not be used simultaneously. [12-12-2(D)(7)]

**SR-SD27 Tandem parking:** Tandem or stacked parking is allowed for residential or itinerant lodging uses. Tandem or stacked parking is not allowed for any commercial use. For itinerant lodging, tandem or stacked parking shall only be permitted if a parking attendant is designated and on duty at all times. Such parking shall not be more than three (3) spaces deep. [12-12-2(D)(10)(b)]

**SR-SD28 Required parking berths:** Truck loading berths shall be required as follows:

Commercial, industrial, and public utility uses that have a gross floor area of three thousand five hundred (3,500) SF feet or more shall provide truck loading or unloading berths in accordance with the following table:

<u>Square Feet of Floor Area</u>	<u>Required Berths</u>
3,500 to 6,500	1
6,501 to 10,000	2
10,001 and over	3

Office buildings, hotels, motels, hospitals, institutions, schools, public buildings, recreational or entertainment facilities, and any similar use that has a gross floor area of ten thousand (10,000) SF or more shall provide off street loading or unloading berths in accordance with the following table:

<u>Square Feet of Floor Area</u>	<u>Required Berths</u>
10,000 to 50,000	1
50,001 and over	2

[12-12-3(A)]

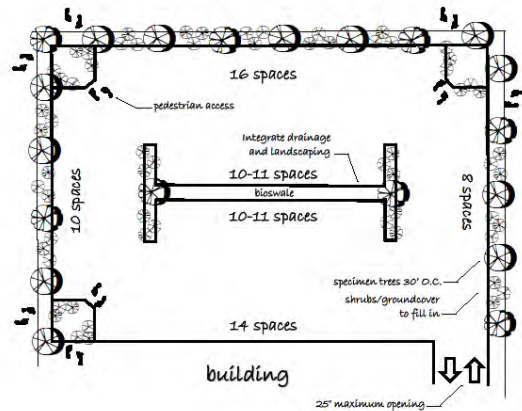
**SR-SD29 Berth dimensions:** A loading berth shall contain space at least twelve feet (12') wide, thirty feet (30') long, and have a height clearance of at least fourteen feet (14'). [12-12-3(B)]

**SR-SD30 Visual impact of parking:** Minimize the visual impact of parking lots via the following techniques:

- Divide large parking lots into smaller areas, which are separated by landscaping.



- Parking lots shall be screened from view of the adjoining street by a landscape strip that is an average of at least five feet (5') in depth but not less than three feet (3'), excluding driveways and pedestrian walkways. The required landscape strip shall consist of evergreen and deciduous trees planted not more than thirty feet (30') on center, interspersed with large and small shrubs and ground cover. Plantings of shrubs and ground covers shall be chosen and spaced to result in a covering of the landscape strip within two (2) years. Shrubs shall be of a type that does not exceed a height at maturity of approximately three (3) to four feet (4'). Deciduous trees shall have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees shall be a minimum of six feet (6') tall at time of planting. [12-13-1(B)(1)]**
- Parking areas of more than six (6) spaces shall be landscaped with not less than 400 SF of landscaping. [12-13-1(B)(2)]**



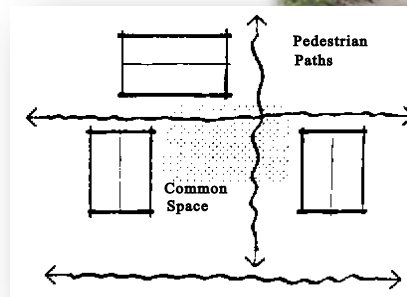
SR-SD31 Trails: Where practicable, provide an ADA-compliant path / a trail through your development.

- Trails should connect to natural features such as the beach or dunes and amenities such as other paths / trails or the boardwalk.
- Trails may be located along property lines in the required setback areas.



SR-SD32 Trails: Use materials that will retain a rustic, natural image.

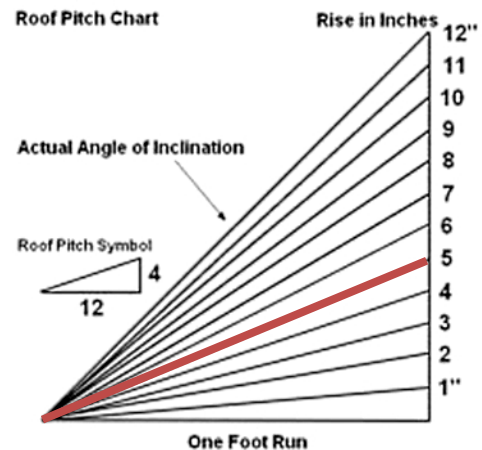
- If concrete is used, it should be colored to blend with the sand dunes.
- Wooden boardwalks and trails paved with decomposed gravel, packed sand, or crushed shells are suitable to the area.



### ***The Shoreline Resort (SR)Design District: Building Design (BD)***

- SR-BD1 Building height in the AC zone:** The maximum height of a structure shall be thirty-five feet (35'), within one hundred feet (100') of Ocean Beach Boulevard, and fifty five feet (55') for buildings located more than one hundred feet (100') west of Ocean Beach Boulevard [12-6D-4(B)]
- SR-BD3 Building height in the S3 zone:** The maximum height of a building shall be sixty feet (60'). [12-8C-4(B)]
- SR-BD4 Building height in the S3R zone:** The maximum height of a building shall be fifty five feet (55'). [12-8D-4(B)]
- SR-BD5 Building height in the S3RMzone:** The maximum height of a building shall be forty five feet (45'), with sixty feet (60') allowable if parking is placed on the ground floor. [12-8E-4(B)]
- SR-BD6 Building orientation:** Align the majority of a storefront near the main roadway, and away from nearby residential uses, if any.
- SR-BD7 Building orientation, traditional:** Where traditional commercial buildings are to be developed, locate façades (primary elevations) at the sidewalk edge.
- SR-BD8 Building orientation, coastal resort:** Where coastal resort style buildings are to be used, front setbacks are appropriate. The front setback is typically established from the primary street. Where clustered development occurs and buildings do not face a street directly, orient facades toward prominent views or open space.
- SR-BD9** To maximize open space and landscaping, combine side and rear yard setbacks along shared property lines.
- SR-BD10** New buildings should appear to fit in with the natural dunal setting.
- Reduce perceived building height by containing the top floor in the roof form.
  - Sloping roof forms should be used to reduce the profile of buildings.
  - Building forms should appear to step down in scale.
- SR-BD11** Buildings should have a sense of pedestrian scale.
- Use small scale elements at the ground level - including windows and ornamental details – that will provide interest to pedestrians.
  - In general, avoid long segments of blank walls that would discourage pedestrian activity.
- SR-BD12** Large buildings should have a horizontal emphasis in overall proportion, with some balancing vertical elements.
- Subdivide the overall building mass into subordinate forms that have a sense of horizontal emphasis.
  - Use doors and windows to provide contrasting vertical elements.

**SR-BD13 Roofs:** A roof pitch of 5:12 or greater is required. The approving authority may allow a more shallow pitch or a flat roof on commercial or mixed use buildings where the pitch of the roof is concealed from the primary street frontage by a false front that extends across at least fifty percent (50%) of the width of the building's street frontage. Shallower roof pitches on projecting features such as bays and porches may be permitted where the form of the elements is complementary to the overall form and character of the building. [12-10A-1(B)(1)]



**SR-BD14 Wood siding:** A minimum of eighty percent (80%) of the building's total exterior siding exposure shall be cedar shingle, lap, or clapboard siding with an exposure not to exceed eight inches (8"). Sheet siding shall not be used, except when battens are applied, so board and batten siding may also be used. The use of glass for window displays is encouraged, and shall be counted toward the wood siding requirement. Cement board siding that is similar in appearance to permitted siding materials shall be allowed. [12-10A-1(B)(2)]

**SR-BD15 Accent materials:** If used, not more than twenty percent (20%) of the building's total exterior siding exposure may be materials other than wood or cement-based siding. Materials that may be used include masonry (stone, brick or split-faced block), sheet or corrugated metal, or other styles of wood siding. Sheet siding shall not be used, except when battens are applied. Materials should be used as accents to highlight the form and architectural details of the building. Cement board siding that is similar in appearance to permitted accent materials shall be allowed. [12-10A-1(B)(3)]

**SR-BD16 Finishes:** Natural, painted or stained finishes are permitted. Muted natural or neutral colors are required in shoreline areas. [12-10A-1(B)(4)]

**SR-BD17 Trim:** Trim should be provided around all windows, doors and to accent the architecture of the building. Trim should be painted in a contrasting color, but may be left unfinished if the exterior siding material is also unfinished. [12-10A-1(B)(5)]

**SR-BD18 Roof Ridge:** One vertical change in elevation of a minimum of three feet (3') shall occur in every fifty foot (50') run of roof. As an alternative, one or more of the following may be applied:

- The use of dormers may be proposed as an alternative to a three foot (3') change in elevation. If dormers are used, there shall be not less than two (2) dormers per fifty feet (50') of roof run , and each dormer must span at least eighty percent (80%) of the roof face from ridge to eaves.
- A cross gable may be used as an alternative to a three-foot (3') change in elevation. There shall be at least one cross gable for each fifty feet (50') of roof run. The face of the cross gable must be in the same plane as the building facade and the ridge of the cross gable shall be no more than two feet (2 feet) below the primary ridge.
- The use of cupolas may be proposed as an alternative to a three foot (3') change in elevation. If cupolas are used, there must be at least one cupola per fifty feet (50') of roof run or fraction in excess of fifty feet (50'). Cupolas shall be sized proportional to the building by being not less than one foot (1') in height per ten feet (10') of roof run. The height of cupolas shall also comply with the requirements of section 12-10-3 of this title. [12-10A-1(B)(6)]

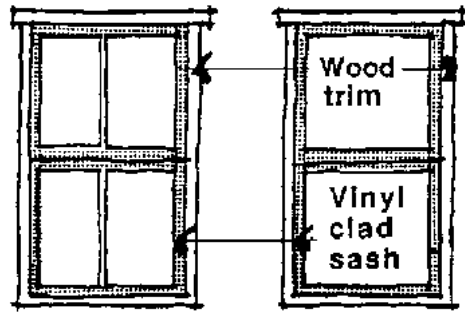


**SR-BD16 Door materials:** For traditional buildings, wood doors or synthetic doors that appear to be wood are preferred. [12-10-7(C)(4)]

**SR-BD17 Door design:** Primary entry doors should be primarily glass or have an upper panel of glass to simulate historic design and to provide views into building interiors to enhance interest to pedestrians.

**SR-BD19 Recessed entries:** Primary entrances should be located in recessed entries to provide shelter for pedestrians and interest to the street.

SR-BD20 Window materials: Wood-cased windows or wood-appearing synthetic windows are preferred. If synthetic windows are to be used, they must have wood trim, to "tie" them in with the wood siding.



SR-BD21 Upper-story windows: Windows with vertical proportions are preferred on upper stories. These may be combined in sets to create larger areas of glass.

SR-BD22 Lighting: Recessed lighting is encouraged. Flashing lights are not

allowed.

SR-BD23 Historic appearance: Where substantiated by photographs, physical evidence or other historical documentation, the reviewing authority may approve alterations and additions to historic buildings that are not otherwise permitted. A building may be considered historic if it is more than fifty (50) years of age, is architecturally or aesthetically important, or has cultural significance. The intent is to preserve the historic appearance of the building, or restore it to its original historic appearance, not to permit buildings that do not comply with design requirements and that have no historic, cultural or aesthetic value to the city. There must be a demonstrated effort to preserve, restore or rehabilitate the entire building, such that the project generally meets the "Secretary of the Interior's Standards for the Treatment of Historic Properties," which may be used by the reviewing authority as alternate design guidelines where appropriate.



### ***The Shoreline Resort (SR) Design District: Ornamentation (O)***

SR-O1 Detail encouraged: The use of ornamental detail is encouraged.

SR-O2 Type of detail. Ornamental detail should not convey a false sense of history for the area, but modern interpretations of historic details are encouraged.



- SR-O3 Location of detail: Details should be located such to provide visual interest to pedestrians. False front cornices, roof gables, eaves, and marquees are appropriate locations. Detailing is also appropriate around doors and windows.
- SR-O4 Integration of detail: Ornamental detail should appear to be integrated into the overall architectural composition.

### ***The Shoreline Resort Design District (SR): Fences (F)***

- SR-F1 Fences encouraged: The use of fences is encouraged to define the edges of open areas.
- SR-F2 **Preferred fences: Decorative fences are preferred, particularly wooden picket fences. [12-10-7(C)(5)]**
- SR-F3 **Non-preferred and prohibited fences: Chain link and split rail wood fences are not encouraged in any zone and are prohibited in the S3, S3R, and S3M zones. [12-10-7(C)(5)]**
- SR-F4 Fence height: Front or side yard fences located along the street and in front of the principal building may not exceed forty two inches (42") in height. Any fence at a driveway-to-street intersection may not exceed forty two inches (42") in height within ten feet (10') of the property line at the street (not the edge of pavement).



### ***The Shoreline Resort (SR) Design District: Utilities (U)***

- SR-U1 Location: Locate utilities lines underground.
- SR-U2 Decorative street lamps: Use decorative street lights.
- SR-U3 Decorative paving: Use decorative sidewalk paving.
- SR-U3 Screen utilities: Service areas for public utility boxes shall be screened.

### ***The Shoreline Resort (SR) Design District: Mechanical Equipment and Service Areas (ME)***

- SR-ME1 Screen equipment: All ground-mounted mechanical equipment and service areas shall be screened from view. Fences, berms and plantings are appropriate screening methods.

## ***The Shoreline Resort (SR) Design District: Signs (S)***

- SR-S1 Sign design: Signs that are simple in design and easily read are encouraged.
- Signs that use pictographics to convey the activity of the business are particularly encouraged.
  - Painted wood signs are encouraged.
- SR-S2 **Multi-family development: Maximum allowable signage is a single sign of three (3) SF per dwelling unit up to twenty four (24) SF per street frontage. [12-14-5]**
- SR-S3 **Commercial: Maximum allowable signage is one hundred (100) SF plus a single four (4) SF sign per commercial occupant. [12-14-5]**
- SR-S5 **Sign height: The maximum height of a freestanding sign is six feet (6'). [12-14-5]**
- SR-S6 Sign/site integration: A sign should appear to be integrated into its setting.
- If mounted on a building, a sign should appear to be a part of architecture and fit within architectural features.
  - If mounted on the ground, a sign should appear to be an integral part of the landscaping.
  - A freestanding sign should have a low profile.
  - Low scale monument signs, integrated into bermed earth forms, are encouraged.
- SR-S7 Sign/building integration: A sign should appear to be in proportion to its building.
- Signs should have materials and colors that are similar to those of the building.
- SR-S8 Consistent sign design: For multi-tenant buildings or multi-building complexes, have a consistent design approach to signage.
- Directory signs should be used to identify multiple businesses in one location.
  - Align signs, and use similar shapes to improve legibility.
- SR-S9 **Lighting: Signs may only be lighted by concealed, indirect lighting; flashing, gas-filled, or internally lit signs are prohibited. [12-14-5; 12-14-6(D)]**
- SR-S10 **Prohibited signs: The following are specifically prohibited and illegal:**
- Signs located in such a manner as to obstruct or otherwise interfere with an official traffic sign, signal or device, or which obstruct or interfere with a driver's view of approaching, merging or intersecting traffic. [12-14-8(A)]
  - Except as provided in design review, signs encroaching upon or overhanging any street or public right-of-way. [12-14-8(B)]
  - No sign shall be attached to any utility pole, light standard, street tree or any other public facility located within the public right-of-way. [12-14-8(C)]

- Signs that blink, flash or are animated by lighting in any fashion. [12-14-8(D)]
- Portable signs, except for temporary signs as set forth in design review. [12-14-8(E)]
- Advertising vehicles or any sign attached to, or placed on, a vehicle or trailer parked on any public or private property, except for signs meeting the following conditions:
  - The primary purpose of such vehicle or trailer is not the display of signs.
  - The signs are magnetic, decals, or painted upon an integral part of the vehicle or equipment as originally designed by the manufacturer, and do not break the silhouette of the vehicle.
- The vehicle or trailer is in operating condition, currently registered and licensed to operate on public streets when applicable, and actively used or available for use in the daily function of the business to which such signs relate. [12-14-8(F)]
- Balloons, streamers, pennants, or pinwheels, except those temporarily displayed as part of a special sale, promotion or community event, as set forth in section 12-14A-12 of this title. For the purposes of this subsection, "temporarily" means no more than a total of sixty (60) days in any calendar year. [12-14-8(G)]
- Any sign constructed upon or attached to the roof of a building or structure. For the purposes of this subsection, the face of a mansard roof or fascia shall not be considered to be a part of the roof. [12-14-8(H)]
- Billboards. [12-14-8(I)]
- Inflatable signs. [12-14-8(J)]



## 4.6 For R1R, R2R, and R3R Zones (and conditional uses in R1, R2, and R3): The Residential Restricted Design District

### 4.6.1 Context

Those older residential neighborhoods of Long Beach located near the heart of town are the Residential Restricted District. The intent of this district is to preserve, enhance, and contribute to an existing early seashore architectural character currently present in older homes.

Many older homes in this district retain their original features, and these features contribute to the village-like character found there. These structures include modest one and two story houses with gable or hip roofs, front porches, and wood siding of a variety of types. Garages are usually detached and



subordinate to the primary dwelling. This low scale of structure, with their entrances facing the street, provides a

pedestrian-friendly neighborhood character. Large landscaped lots enhance streets in this district.

Many development opportunities exist in the Residential Restricted District. Single family, two-family and multi-family are permitted in this district, and, depending on zoning, certain public uses.





#### 4.6.2 Desired Image

The image desired for the Residential Restricted District is an old-fashioned residential neighborhood of modest beach-themed homes.

This district should provide for non-motorized modes of transportation, and should be attractive to motorists and pedestrians alike.



#### 4.6.3 Architectural Styles

The predominant architectural styles are Beach Cottage and Cape Cod and their general characteristics should be continued in new construction: pitched roofs, porches, home front faces the street, and accessory buildings are subordinate to the primary building.

Contemporary interpretations of traditional styles are desirable. A-frame, Ranch, English Tudor, Log Home, Romanesque Revival, Mediterranean Villa Exotic, and Spanish Colonial Revival are not styles suitable for this district.

#### 4.6.4 Standards and Guidelines for the Residential Restricted Design District

Below are design guidelines that should be incorporated into a project located in the Residential Restricted design district. Guidelines in **boldface** type are mandatory, and references to their location within the City code are in brackets. Other guidelines are preferences or suggestions, and should be incorporated where appropriate into project design. The Residential Restricted design district represents more than one zone; unless otherwise specified, the guidelines apply to all zones within the design district.

##### ***The Residential Restricted Design District (RR): Site Design (SD)***

**RR-SD1 Lot size in the R1R zone. Lot area shall be at least six thousand (6,000) square feet. Construction on lots platted prior to the effective date of the zoning code, with less than six thousand (6,000) square feet, will be permitted where total lot coverage does not exceed sixty percent (60%). [12-5B-4(A)(1)]**

**RR-SD2 Lot Size in the R2R zone. A minimum of four thousand (4,000) square feet shall be provided for each dwelling unit. Construction on lots platted prior to the effective date of the zoning code, with less than four thousand (4,000) square feet, will be permitted for one single-family home, where total lot coverage does not exceed sixty percent (60%) and where all setback requirements can be met. Not more than one principal building shall be placed on any lot. [12-5D-4(A)(1)]**

**RR-SD3 Lot Size in the R3R zone. Lot Size: A minimum of three thousand (3,000) square feet shall be provided for each dwelling unit. For Affordable Housing that meets City requirements, the total number of allowed housing units on a lot may be**



- increased up to fifty percent (50%). On lots platted prior to the effective date of the zoning code, with less than three thousand (3,000) square feet, construction will be permitted for one single-family home where total lot coverage does not exceed sixty percent (60%) and where all setback requirements can be met. [12-5F-4(A)(1)]
- RR-SD4** Lot coverage: No more than sixty percent (60%) of any lot shall be covered by structures and/or impermeable surfaces. [12-5B-4(A)(2); 12-5D-4(A)(2); 12-5F-4(A)(2)]
- RR-SD5** Setbacks in the R1R and R2R zones. The following apply:
- Front Yard:** Ten feet (10') minimum.
- Side Yard:** Five feet (5') minimum.
- Rear Yard:** Ten feet (10') minimum.
- Corner Lots:** Shall have a ten-foot (10') minimum setback on each street side, and a five-foot (5') minimum setback on all other sides. [12-5B-4(A)(3); 12-5D-4(A)(3)]
- RR-SD6** Setbacks in the R3R zone. The following apply:
- Front Yard:** Ten feet (10') minimum.
- Side Yard:**
- **Detached:** Five feet (5') minimum.
  - **Semi-detached and attached:** Where development is coordinated with adjacent lots, attached and semi-detached structures shall have a five-foot (5') minimum setback on exterior sides that are not abutting the adjacent building and a zero (0) setback on interior abutting sides.
- Rear Yard:** Ten feet (10') minimum.
- Corner Lots:**
- **Detached:** Shall have a ten-foot (10') minimum setback on each street side, and a five-foot (5') minimum setback on all other sides.
  - **Semi-detached and attached:** ten feet (10') minimum setback on each street side; five feet (5') minimum setback on the interior side opposite the shortest street frontage or the street frontage that is considered the front; zero (0) setback on the side opposite the longest street frontage, or opposite the street frontage that is considered the side. [12-5F-4(A)(3)]
- RR-SD7** Multiple principal buildings in the R3R zone. More than one two-family and/or multi-family structure may be placed on a lot. Multiple single-family residences are only permitted as group dwellings. [12-5F-4(A)(4)]
- RR-SD8** Site design and landscaping: Define site edges and add visual interest with landscaping, including plants, fences, and some hardscape.

**RR-SD9 Area to be landscaped:** Where buildings are not built to the property line, the area between the building and the property line shall be landscaped or otherwise treated as an outdoor amenity. The area may be finished as hardscape with planters, or may be planted with landscape materials, provided the reviewing authority finds the proposed design enhances the proposed development and the surrounding area. Street furniture may also be included in the design. [12-13-2]

- Hardscape areas such as patios may be a part of the landscaping, provided planters are included in the design and the space is designed as an outdoor amenity.

**RR-SD10 Landscape strips: Non-residential and multi-family development or additions and alterations that have a value of fifty percent (50%) or more of the existing structure and that abuts a residential zoned property shall provide a landscape strip along the common property line. The required landscaping strip shall be a minimum of five feet (5') in width and consist primarily of a mixture of evergreen and deciduous trees and shrubs. Ground cover and smaller plantings may also be used but shall not be used exclusively. A decorative solid wood fence six feet (6') in height may be allowed by the reviewing authority in lieu of the landscaping buffer. The intent shall be to screen the view of the commercial activity from the residential use. [12-13-1(A)]**



- RR-SD11 Landscaping and building design:** Landscaping shall be used where necessary to mitigate the height, bulk, or scale of buildings.
- RR-SD12 Landscaping to screen parking:** Landscaping or landscaped berms shall be used to partially screen parking areas from view from adjacent streets or building occupants.
- RR-SD13 Landscaping to screen commercial uses:** Landscaping shall be used to screen commercial uses from the view of adjacent residences.

**RR-SD14 Landscape materials:** Required landscaping shall be predominantly native or plant materials suited to the coastal setting. Consideration should be given to the appearance of the landscaping in all seasons.



Landscaping plans shall be designed to conserve and make efficient use of water. Plant sizes shall be used that will best ensure their survival, and to provide coverage within two (2) years. Deciduous trees should have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees should be a minimum of six feet (6') tall at time of planting. Ground cover materials such as gravel or bark may be used only if approved as part of the overall landscaping plan and shall be limited. Land disturbed by development activities shall be revegetated at least to its pre-development condition. [12-13-1(C)]

**RR-SD15 Integration with stormwater plans:** Wherever possible, the landscaping plan shall be coordinated with the stormwater plan, where required, and shall be designed to help control and reduce stormwater runoff. Low impact development techniques are encouraged. [12-13-1(D)]



- Design drainage areas so they will also serve as site amenities. For example, landscape storm water detention areas.

**RR-SD16 Site run-off:** Design site drainage so it does not impact adjoining properties. Drain surface water run-off to points where it discharges to the city storm drainage system.

**RR-SD17 Parking lot run-off:** The use of porous materials in parking lots is encouraged to minimize storm run-off, while sufficient smooth hard surface is provided to provide access to persons with mobility impairment.

**RR-SD18 Off-street parking requirements:** The following apply:

<u>Type of Use</u>	<u>Parking Space Required<sup>(1)</sup></u>
Church, community hall	1 per 6 seats or 12 feet of bench
Multi-family residences, three or more dwellings	1 for each studio or one-bedroom unit; 1.5 for each two-bedroom unit; 2 for each 3- bedroom or larger unit; plus 1 visitor space for every 4 dwelling units
One and two-family residences	2 per dwelling unit; tandem parking allowed
Schools, elementary, nursery	1 per employee or teacher
Senior citizen homes, convalescent centers	1 per 6 beds, plus 1 for every 3 employees
Similar uses or aggregate	To be evaluated by the planning commission on a case by case basis, based on the above standards

- (1) Where parking is required for employees, the number shall be calculated based on the maximum number of full-time-equivalent (FTE) employees per maximum shift.

[12-12-2(A)]

**RR-SD19 Parking space dimensions:** An off street parking space shall be at least nine feet (9') in width and eighteen feet (18') in length. Such space shall have a vertical clearance of at least seven feet (7'). For parking areas where at least ten (10) spaces are required, a maximum of fifty percent (50%) of required spaces may be utilized as compact stalls measuring eight feet (8') wide by sixteen feet (16') in length. [12-12-2(D)(2)]

**RR-SD20 Ingress and egress:** The maximum allowable width of ingress and egress access points for an off street parking lot shall be fifteen feet (15') for a one-way access point and twenty-five feet (25') for a two-way access point, except the approving authority may approve a one-way access point that is twenty feet (20') wide or a two-way access point that is thirty feet (30') wide, provided the following criteria are met:

- The wider access point is necessary to allow safe ingress and egress for the type and size of vehicles customarily associated with the use of the property or for uses that have higher traffic volumes;
- Pedestrians will not be unduly impacted by the greater width; and
- The property is served by only one access point on each street frontage. [12-2-2(D)(3)]

**RR-SD21 Location of off-street parking.** Off street parking requirements shall be met on the same lot and zone as the building served, or off-site on a lot within two hundred feet (200') specifically reserved for said business's clientele. Multiple uses may share off-site parking facilities located on a separate lot(s), provided the number of spaces available meets the total requirement of all of the separate uses. Off-site parking shall be considered accessory to the use, as if it were located on the same site as the use. Off-site parking that is required for the use shall be secured in perpetuity through a deed, recorded easement or other document acceptable to the city. Off-site parking that is provided voluntarily in excess of the parking requirement will not be required to be secured in perpetuity and will be considered accessory to the use. [12-12-2(D)(4)]

**RR-SD22 Surface conditions.** Parking lots shall have graveled or paved surfaces, maintained adequately for all weather use, and drained to avoid flow of water over public sidewalks, rights-of-way, and abutting private property. The use of low impact development techniques to reduce stormwater impacts is encouraged. [12-12-2(D)(5)]

**RR-SD23 Maneuvering space.** Maneuvering space (to prevent backing onto streets) shall be provided for all lots that provide access onto arterial streets. Internal driveway widths and circulation patterns shall be adequate to provide necessary



maneuvering for vehicles, according to the design and layout of the parking lot. [12-12-2(D)(6)]

**RR-SD24 Multiple uses.** In the event that several uses occupy a single structure or parcel of land, the total requirements for off street parking shall be the sum of the requirements of the several uses computed separately, unless evidence is presented to the satisfaction of the reviewing authority that the various uses shall not be used simultaneously. [12-12-2(D)(7)]

**RR-SD25 Tandem parking.** Tandem or stacked parking is allowed for residential or itinerant lodging uses. Tandem or stacked parking is not allowed for any commercial use. For itinerant lodging, tandem or stacked parking shall only be permitted if a parking attendant is designated and on duty at all times. Such parking shall not be more than three (3) spaces deep. [12-12-2(D)(10)(b)]

**RR-SD26 Required parking berths.** Truck loading berths shall be required as follows:

Institutions, schools, public buildings, recreational or entertainment facilities, and any similar use that has a gross floor area of ten thousand (10,000) SF or more shall provide off street loading or unloading berths in accordance with the following table:

<u>Square Feet of Floor Area</u>	<u>Required Berths</u>
10,000 to 50,000	1
50,001 and over	2

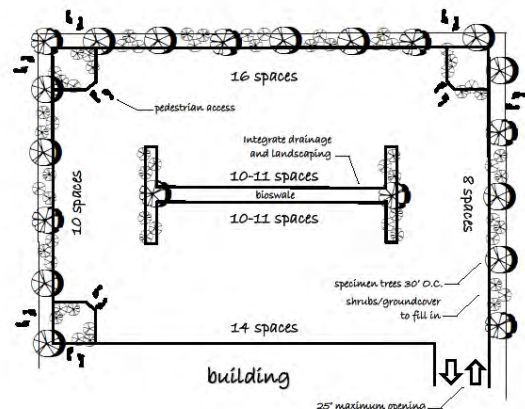
[12-12-3(A)]

**RR-SD27 Berth dimensions:** A loading berth shall contain space at least twelve feet (12') wide, thirty feet (30') long, and have a height clearance of at least fourteen feet (14'). [12-12-3(B)]

**RR-SD28 Visual impact of parking:** Minimize the visual impact of parking lots via the following techniques:

1. Divide large parking lots into smaller areas, which are separated by landscaping.

2. **Parking lots shall be screened from view of the adjoining street by a landscape strip that is an average of at least five feet (5') in depth but not less than three feet (3'), excluding driveways and pedestrian walkways. The required landscape strip shall consist of evergreen and deciduous trees planted not more than thirty feet (30') on center, interspersed with large and small shrubs and**



ground cover. Plantings of shrubs and ground covers shall be chosen and spaced to result in a covering of the landscape strip within two (2) years. Shrubs shall be of a type that does not exceed a height at maturity of approximately three (3) to four feet (4'). Deciduous trees shall have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees shall be a minimum of six feet (6') tall at time of planting. [12-13-1(B)(1)]

3. **Parking areas of more than six (6) spaces shall be landscaped with not less than 400 SF of landscaping.** [12-13-1(B)(2)]

RR-SD29 Site decoration: Locate site decorations within landscaped areas.

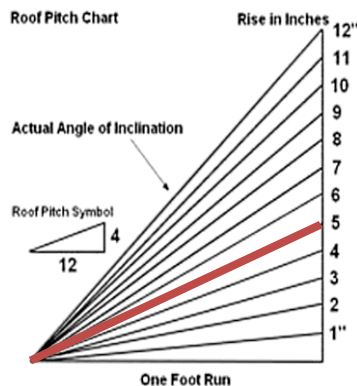
1. Site decorations should accurately convey the heritage of the community.
2. Symbols and product forms that convey the nature of the business conducted are also appropriate as site decorations.

### ***The Residential Restricted Design District (RR): Building Design (BD)***

**RR-BD1 Building height:** The maximum height of a structure shall be thirty-five feet (35'), except that the height of an accessory building with a gross floor area of less than two hundred (200) square feet shall be fifteen feet (15'). [12-5B-4(B); 12-5D-4(B); 12-7F-4(B)]

**RR-BD2 Building orientation:** Primary entrances should be oriented to the sidewalk. Building faces should provide visual interest; include decorative patterns and landscaping to emphasize an orientation to the sidewalk.

**RR-BD3 Roofs:** Pitched roofs are required, with a minimum roof pitch of 5:12. Materials shall be wood shingle, composition or metal.



Shallower roof pitches on projecting features such as bays and porches may be permitted where the form of the elements is complementary to the overall form and character of the building. [12-10A-2(B)(1); 12-10A-3(B)(1)]

**RR-BD4 Porches:** Covered front porches or wrap around porches are required. Porches on the front of the house facing the street shall not be enclosed with screens. [12-10A-2(B)(2); 12-10A-3(B)(2)]

**RR-BD5 Building materials in the R1R zone.** Wood siding is required on not less than eighty percent (80%) of the exterior exposure. Cedar shingles, lap, clapboard, tongue and groove, or board and batten are permitted. Cement board siding that is similar in appearance to permitted siding materials shall be allowed. **Masonry:** If used, not more than twenty percent (20%) of the exterior siding exposure may be of stone, brick, or

split faced block. Other construction methods, including sheet siding, are prohibited. [12-10A-2(B)(3)]

**RR-BD6 Building materials in the R2R and R3R zones.** Wood siding is required. Cedar shingles or cedar board and batten siding, or a combination thereof, is required for not less than eighty percent (80%) of the exposed exterior. Not more than eight inch (8") shingle exposure is permitted. Lap, clapboard, tongue and groove, or masonry, including stone, brick or split faced block, are permitted on not more than twenty percent (20%) of the exposed exterior. Cement board siding that is similar in appearance to permitted siding materials shall be allowed. Other construction methods, including sheet siding, are prohibited. 12-10A-3(B)(3)]

**RR-BD7 Color in the R2R and R3R zones.** Natural or stained natural treatment is required. Trim may be painted. [12-10A-3(B)(4)]

**RR-BD8 Foundations: Permanent foundations are required.** Not more than thirty six inches (36") of the foundation may be shown above ground level. [12-10A-2(B)(4); 12-10A-3(B)(5)]

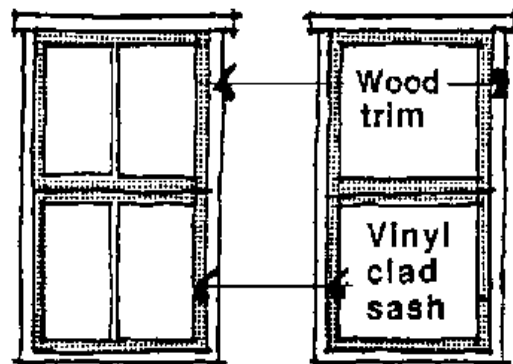
**RR-BD9 Accessory Buildings: Garages, whether attached or detached, shall be designed and positioned to be complementary to the overall aesthetic design and proportional to the house.** Where available, direct access from a garage to a side street or an alley is required. Sheds and other accessory buildings shall be located in the rear or side yard. Accessory buildings shall be designed to complement the principal building(s) in form, detail, color, and material. [12-10A-2(B)(5); 12-10A-3(B)(6)]

**RR-BD10 Orientation: The front door shall face the street.** [12-10A-2(B)(6); 12-10A-3(B)(7)]

**RR-BD11 Building Width: The minimum width of any principal building shall be not less than fourteen feet (14').** [12-10A-2(B)(7); 12-10A-3(B)(8)]

**RR-BD12 Door materials: Wood doors or synthetic doors that appear to be wood are preferred.** [12-10-7(C)(4)] **RR-BD13 Window materials: Wood-cased windows or wood-appearing synthetic windows are preferred.** If synthetic windows are to be used, they must have wood trim, or casing, to "tie" them in with the wood siding.

**RR-BD14 Upper-story windows: Windows with vertical proportions are preferred on upper stories.** These may be combined in sets to create larger areas of glass.



RR-BD15 Historic appearance: Where substantiated by photographs, physical evidence or other historical documentation, the reviewing authority may approve alterations and additions to historic buildings that are not otherwise permitted. A building may be considered historic if it is more than fifty (50) years of age, is architecturally or aesthetically important, or has cultural significance. The intent is to preserve the historic appearance of the building, or restore it to its original historic appearance, not to permit buildings that do not comply with design requirements and that have no historic, cultural or aesthetic value to the city. There must be a demonstrated effort to preserve, restore or rehabilitate the entire building, such that the project generally meets the “Secretary of the Interior’s Standards for the Treatment of Historic Properties,” which may be used by the reviewing authority as alternate design guidelines where appropriate.

***The Residential Restricted District (RR): Ornamentation (O)***

- RR-O1 Detail encouraged: The use of ornamental detail is encouraged.
- RR-O2 Type of detail. Ornamental detail should not convey a false sense of history for the area, but modern interpretations of historic details are encouraged.
- RR-O3 Location of detail: Details should be located such to provide visual interest to pedestrians. False front cornices, roof gables, and eaves are appropriate locations. Detailing is also appropriate around doors and windows.
- RR-O4 Integration of detail: Ornamental detail should appear to be integrated into the overall architectural composition.



***The Residential Restricted Design District (RR): Fences (F)***

- RR-F1 Fences encouraged: The use of fences is encouraged to define the edges of open areas.
- RR-F2 Preferred and prohibited fences: Decorative fences are preferred, particularly wooden picket fences. Chain link and split rail wooden fences are prohibited. [12-10-7(C)(5)]**



- Painted metal fences that are simple in character may also be considered.

RR-F3 Fence height: Any front or side yard fence located along the street and in front of the principal building may not exceed forty two inches (42”) in height. Any fence at a driveway-to-street intersection may not exceed forty two inches (42”) in height within ten feet (10’) of the property line at the street (not the edge of pavement).

### ***The Residential Restricted District (RR): Utilities (U)***

RR-U1 Locate underground: Locate utilities lines underground.

RR-U2 Decorative street lamps: Use decorative street lights.

RR-U3 Decorative paving: Use decorative sidewalk paving.

RR-U3 Screen utilities: Service areas for public utility boxes shall be screened.

### ***The Residential Restricted Design District (RR): Mechanical Equipment and Service Areas (ME)***

RR-ME1 Screen equipment in the R2R and R3R zones. All ground-mounted mechanical equipment and service areas shall be screened from view. Fences, berms and plantings are appropriate screening methods.

### ***The Residential Restricted District (RR): Signs (S)***

RR-S1 Sign design: Signs that are simple in design and easily read are encouraged.

- Signs that use pictographics to convey the activity of the business are particularly encouraged.
- Painted wood signs are encouraged.



RR-S2 **Signs in the R1R zone. One (1) sign per street frontage per residence of three (3) SF each sign; signage for home occupations shall not exceed three (3) SF and shall be included in this allocation. [12-14-5]**

RR-S3 **Signs on the R2R and R3R zones. Same as R1, plus group sign of three (3) SF per dwelling unit up to twenty four (24) SF per street frontage for multi-family developments. Signage for home occupations, vacation rentals, and bed and breakfasts shall not exceed three (3) SF and shall be included in this allocation. [12-14-5]**

RR-S5 **Sign height: The maximum height of a freestanding sign is six feet (6’). [12-14-5]**



- RR-S6 Sign/site integration: A sign should appear to be integrated into its setting.
- If mounted on a building, a sign should appear to be a part of architecture and fit within architectural features.
  - If mounted on the ground, a sign should appear to be an integral part of the landscaping.
  - A freestanding sign should have a low profile.
  - Low scale monument signs, integrated into bermed earth forms, are encouraged.
- RR-S7 Sign/building integration: A sign should appear to be in proportion to its building.
- **Signs should have materials and colors that are similar to those of the building.**
- RR-S8 Consistent sign design. For multi-tenant buildings or multi-building complexes, have a consistent design approach to signage.
- Directory signs should be used to identify multiple businesses in one location.
  - Align signs, and use similar shapes to improve legibility.
- RR-S9 **Lighting. Signs may only be lighted by concealed, indirect lighting; internally lit signs are prohibited. [12-14-5; 12-14-8(D)]**
- RR-S10 **Prohibited signs: The following are specifically prohibited and illegal:**
- **Signs located in such a manner as to obstruct or otherwise interfere with an official traffic sign, signal or device, or which obstruct or interfere with a driver's view of approaching, merging or intersecting traffic. [12-14-8(A)]**
  - **Except as provided in design review, signs encroaching upon or overhanging any street or public right-of-way. [12-14-8(B)]**
  - **No sign shall be attached to any utility pole, light standard, street tree or any other public facility located within the public right-of-way. [12-14-8(C)]**
  - **Signs that blink, flash or are animated by lighting in any fashion. [12-14-8(D)]**
  - **Portable signs, except for temporary signs as set forth in design review. [12-14-8(E)]**
  - **Advertising vehicles or any sign attached to, or placed on, a vehicle or trailer parked on any public or private property, except for signs meeting the following conditions:**
    - **The primary purpose of such vehicle or trailer is not the display of signs.**
    - **The signs are magnetic, decals, or painted upon an integral part of the vehicle or equipment as originally designed by the manufacturer, and do not break the silhouette of the vehicle.**

- The vehicle or trailer is in operating condition, currently registered and licensed to operate on public streets when applicable, and actively used or available for use in the daily function of the business to which such signs relate. [12-14-8(F)]
- Balloons, streamers, pennants, or pinwheels, except those temporarily displayed as part of a special sale, promotion or community event, as set forth in section 12-14A-12 of this title. For the purposes of this subsection, "temporarily" means no more than a total of sixty (60) days in any calendar year. [12-14-8(G)]
- Any sign constructed upon or attached to the roof of a building or structure. For the purposes of this subsection, the face of a mansard roof or fascia shall not be considered to be a part of the roof. [12-14-8(H)]
- Billboards. [12-14-8(I)]
- Inflatable signs. [12-14-8(J)]



## 4.7 For S1 and S2 Zones: The Shoreline Residential Design District

### 4.7.1 Context

As does the Shoreline Resort District, the Shoreline Residential District lies between Ocean



Beach Boulevard and the shoreline, on accreted lands. The low rolling dunes are dotted with wetlands, and dune grasses give this area a natural, coastal character. Adjacent to the beach, and traversed by trails, this district is a favorite of not only residents, but visitors and recreationalists. Due to their proximity to the ocean, potential ocean views, and natural resources, the lands of the Shoreline Residential District are

among the most valued in Long Beach. Balancing development and nature and maintaining the area's distinctive coastal character is vital in this district.

### 4.7.2 Desired Image

The image desired in this district is a residential neighborhood nestled in the dune, incorporating sufficient landscaping to ease the transition from a man-made to natural environment.

The Shoreline Residential District offers substantial opportunity for development. Anticipated uses in this district include single-, two-, and four-family dwellings, and conditionally churches, community serving, and limited public uses.

### 4.7.3 Architectural Styles

Contemporary interpretations of Coastal Resort, Craftsman, and Victorian Beach House styles are all encouraged in this area. Houses should be oriented toward the street, porches are required, and accessory buildings are to be subordinate to the primary structure. Roofs are pitches, and siding of traditional materials or modern equivalents thereof that simulate wood's appearance.



#### 4.7.4 Standards and Guidelines for the Shoreline Residential Design District



Below are design guidelines that should be incorporated into a project located in the Shoreline Residential design district. Guidelines in **boldface** type are mandatory, and references to their location within the City code are in brackets. Other guidelines are preferences or suggestions, and should be incorporated where appropriate into project design. The Shoreline Residential design district represents more than one zone; unless otherwise specified, the guidelines apply to all zones within the design district.

##### ***The Shoreline Residential (Housing) Design District (SH): Site Design (SD)***

- SH-SD1** Lot size in the S1 zone and for a single dwelling housing unit in either zone: The minimum lot size is ten thousand (10,000) square feet. Construction on lots platted prior to the effective date of the zoning code, with less than ten thousand (10,000) square feet, will be permitted where total lot coverage does not exceed sixty percent (60%) and where all setback requirements can be met. [12-8A-4(A)(1); 12-8B-4(A)(1)(a) and (c)]
- SH-SD2** Lot size for multi-family projects in the S2 zone: The minimum lot size for multi-family housing units shall be ten thousand (10,000) square feet for the first housing unit , plus two thousand (2,000) square feet for each additional housing unit . Where multiple principal buildings are constructed on a property, there shall be ten thousand (10,000) square feet of lot area for the first of each subsequent four (4) units, or fraction thereof. [12-8B-4(A)(1)(b)]
- SH-SD3** Maximum lot coverage on the S1 zone: No more than sixty percent (60%) of any lot shall be covered by structures and/or impermeable surfaces. [12-8A-4(A)(2)]
- SH-SD4** Maximum lot coverage in the S2 zone. No more than seventy-five percent (75%) of any lot shall be covered by structures and/or impermeable surfaces. [12-8B-4(A)(2)]
- SH-SD5** Setbacks. The following apply:  
Front Yard: Ten feet (10') minimum.  
Side Yard: Five feet (5') minimum.

**Rear Yard: Ten feet (10') minimum.**

**Corner Lots: Shall have a ten-foot (10') minimum setback on each street side and a five-foot (5') minimum setback at other property lines. [12-8A-4(A)(3); 12-8B-4(A)(3)]**

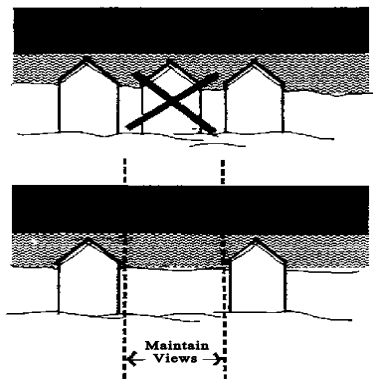
SH-SD6 Locate buildings so they appear to be settled into the sand dunes.

- Avoid filling dune areas to create a larger building site, except that establishing a building elevation above flood levels is expected.
- Use berms and other sloping land forms against buildings to reduce the perceived building height.
- Retain existing topography where feasible; minimize fill.
- Establish a natural transition grade to neighboring properties.



SH-SD7 Locate buildings so that views through the development are retained and open space maximized.

- Views from streets, and the beach in particular, should be preserved, where practicable.
- Locate buildings on the site so that side and rear yards may be combined visually with adjacent properties to increase the visual impact of open space.



SH-SD8 **Area to be landscaped: Where buildings are not built to the property line, the area between the building and the property line shall be landscaped or otherwise treated as an outdoor amenity. The area may be finished as hardscape with planters, or may be planted with landscape materials, provided the reviewing authority finds the proposed design enhances the proposed development and the surrounding area. Street furniture may also be included in the design. [12-13-2]**

- Hardscape areas such as patios may be a part of the landscaping, provided planters are included in the design and the space is designed as an outdoor amenity.



**SH-SD9 Landscape strips:** Non-residential and multi-family development or additions and alterations that have a value of fifty percent (50%) or more of the existing structure and that abuts a residential zoned property shall provide a landscape strip along the common property line. The required landscaping strip shall be a minimum of five feet (5') in width and consist primarily of a mixture of evergreen and deciduous trees and shrubs. Ground cover and smaller plantings may also be used but shall not be used exclusively. A decorative solid wood fence six feet (6') in height may be allowed by the reviewing authority in lieu of the landscaping buffer. The intent shall be to screen the view of the commercial activity from the residential use. [12-13-1(A)]

**SH-SD10 Landscaping and building design:** Landscaping shall be used where necessary to mitigate the height, bulk, or scale of buildings.

**SH-SD11 Landscaping to screen parking:** Landscaping or landscaped berms shall be used to partially screen parking areas from view from adjacent streets or building occupants.

**SH-SD12 Landscaping to screen commercial uses:** Landscaping shall be used to screen commercial uses from the view of adjacent residences.

**SH-SD13 Landscape materials:** Required landscaping shall be predominantly native or plant materials suited to the coastal setting. Consideration should be given to the appearance of the landscaping in all seasons.

Landscaping plans shall be designed to conserve and make efficient use of water. Plant sizes shall be used that will best ensure their survival, and to provide coverage within two (2) years. Deciduous trees should have a minimum trunk diameter of two inches (2") at time of planting.

Evergreen trees should be a minimum of six feet (6') tall at time of planting. Ground cover materials such as gravel or bark may be used only if approved as part of the overall landscaping plan and shall be limited. Land disturbed by development activities shall be revegetated at least to its pre-development condition. [12-13-1(C)]



**SH-SD14 Integration with stormwater plans:** Wherever possible, the landscaping plan shall be coordinated with the stormwater plan, where required for the development, and shall be designed to help control and reduce stormwater runoff. Low impact development techniques are encouraged. [12-13-1(D)]



- Design drainage areas such that they will also serve as site amenities. For example, landscape storm water detention areas.

**SH-SD15** Design drainage areas such to serve as site amenities.

- Landscape storm water detention areas.
- Use open drainage ditches and line them with grasses and other appropriate plantings rather than installing underground pipes or constructing concrete channels.

**SH-SD16** Design site drainage such that it does not impact adjoining properties.

- **Storm run-off may not drain onto adjacent properties. [Uniform Plumbing Code, 1101.1]**
- Drain surface water to collection points such that it can be introduced into a municipal storm sewer system, where such a system is available.
- Storm drainage may not negatively affect adjacent wetland and natural areas. Use native plant materials to cleanse storm runoff in detention areas.

**SH-SD17** Parking lot run-off in S2 zone: The use of porous materials in parking lots is encouraged to minimize storm run-off, while sufficient smooth hard surface is provided to provide access to persons with mobility impairment.

**SH-SD18** Impervious cover. Minimize the amount of paved hard surfaces in order to retain a natural image and reduce storm run-off.

**SH-SD19** Off-street parking. The following apply:

**Type of Use**

**Offices, including banks, medical clinics, and professional offices**

**One and two-family residences**

**Parking Space Required<sup>(1)</sup>**

**1 per 400 SF of gross floor area**

**2 per dwelling unit; tandem parking allowed**

**Type of Use**

**Parking Space Required<sup>(1)</sup>**

Senior citizen homes,  
convalescent centers

1 per 6 beds, plus 1 for every 3  
employees

Similar uses or aggregate

To be evaluated by the planning  
commission on a case by case basis,  
based on the above standards

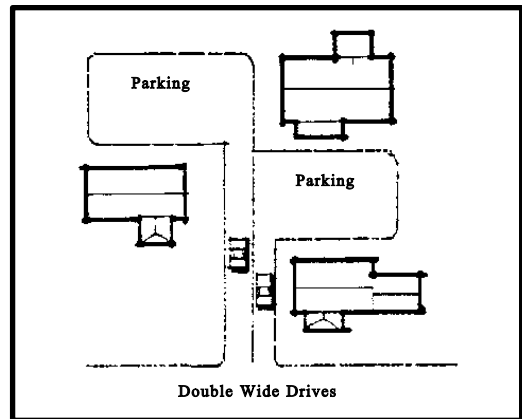
- (1) Where parking is required for employees, the number shall be calculated based on the maximum number of full-time-equivalent (FTE) employees per maximum shift.

[12-12-2(A)]

**SH-SD20 Parking space dimensions:** An off street parking space shall be at least nine feet (9') in width and eighteen feet (18') in length. Such space shall have a vertical clearance of at least seven feet (7'). For parking areas where at least ten (10) spaces are required, a maximum of fifty percent (50%) of required spaces may be utilized as compact stalls measuring eight feet (8') wide by sixteen feet (16') in length. [12-12-2(D)(2)]

**SH-SD21 Ingress and egress:** The maximum allowable width of ingress and egress access points for an off street parking lot shall be fifteen feet (15') for a one-way access point and twenty-five feet (25') for a two-way access point, except the approving authority may approve a one-way access point that is twenty feet (20') wide or a two-way access point that is thirty feet (30') wide, provided the following criteria are met:

1. The wider access point is necessary to allow safe ingress and egress for the type and size of vehicles customarily associated with the use of the property or for uses that have higher traffic volumes;
2. Pedestrians will not be unduly impacted by the greater width; and
3. The property is served by only one access point on each street frontage. [12-2-2-(D)(3)]



**SH-SD22 Location of off-street parking:** Off street parking requirements shall be met on the same lot and zone as the building served, or off-site on a lot within two hundred feet (200') specifically reserved for said business's clientele. Multiple uses may share off-site parking facilities located on a separate lot(s), provided the number of spaces available meets the total requirement of all of the separate uses. Off-site parking shall be considered accessory to the use, as if it were located on the same site as the use. Off-site parking that is required for the use

shall be secured in perpetuity through a deed, recorded easement or other document acceptable to the city. Off-site parking that is provided voluntarily in excess of the parking requirement will not be required to be secured in perpetuity and will be considered accessory to the use. [12-12-2(D)(4)]

**SH-SD23 Surface conditions:** Parking lots shall have graveled or paved surfaces, maintained adequately for all weather use, and drained to avoid flow of water over public sidewalks, rights-of-way, and abutting private property. The use of low impact development techniques to reduce stormwater impacts is encouraged. [12-12-2(D)(5)]

**SH-SD24 Maneuvering space in the S2 zone for multi-family projects:** Maneuvering space (to prevent backing onto streets) shall be provided for all lots that provide access onto arterial streets. Internal driveway widths and circulation patterns shall be adequate to provide necessary maneuvering for vehicles, according to the design and layout of the parking lot. [12-12-2(D)(6)]

**SH-SD25 Multiple uses:** In the event that several uses occupy a single structure or parcel of land, the total requirements for off street parking shall be the sum of the requirements of the several uses computed separately, unless evidence is presented to the satisfaction of the reviewing authority that the various uses shall not be used simultaneously. [12-12-2(D)(7)]

**SH-SD26 Tandem parking.** Tandem or stacked parking is allowed for residential uses. Such parking shall not be more than three (3) spaces deep. [12-12-2(D)(10)(b)]

**SH-SD27 Loading berths in the S2 zone.** Institutions, schools, public buildings, facilities, and any similar use that has a gross floor area of ten thousand (10,000) SF or more shall provide off street loading or unloading berths in accordance with the following table:

<u>Square Feet of Floor Area</u>	<u>Required Berths</u>
10,000 to 50,000	1
50,001 and over	2

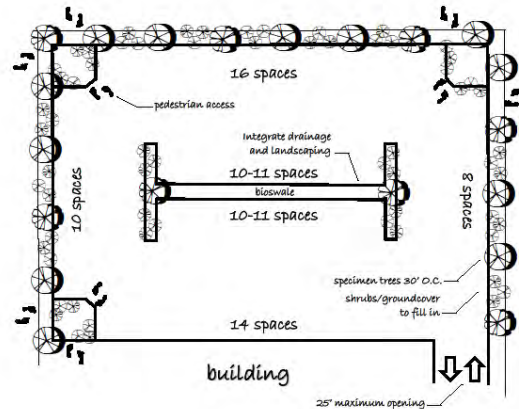
[12-12-3(A)]

**SH-SD28 Berth dimensions in the S2 zone.** A loading berth shall contain space at least twelve feet (12') wide, thirty feet (30') long, and have a height clearance of at least fourteen feet (14'). [12-12-3(B)]

**SH-SD29 Visual impact of parking in the S2 zone.** Minimize the visual impact of parking lots via the following techniques:

- Divide large parking lots into smaller areas, which are separated by landscaping.

- Parking lots shall be screened from view of the adjoining street by a landscape strip that is an average of at least five feet (5') in depth but not less than three feet (3'), excluding driveways and pedestrian walkways. The required landscape strip shall consist of evergreen and deciduous trees planted not more than thirty feet (30') on center, interspersed with large and small shrubs and ground cover. Plantings of shrubs and ground covers shall be chosen and spaced to result in a covering of the landscape strip within two (2) years. Shrubs shall be of a type that does not exceed a height at maturity of approximately three (3) to four feet (4'). Deciduous trees shall have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees shall be a minimum of six feet (6') tall at time of planting. [12-13-1(B)]**
- Parking areas of more than six (6) spaces shall be landscaped with not less than 400 SF of landscaping. [12-13-1(B)(2)]**



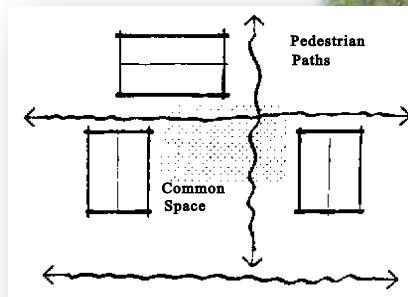
SH-SD29 Trails in the S2 zone. Where practicable, provide an ADA-compliant path / a trail through your development.

- Trails should connect to natural features such as the beach or dunes and amenities such as other paths / trails or the boardwalk.
- Trails may be located along property lines in the required setback areas.



SH-SD30 Trails: Use materials that will retain a rustic, natural image.

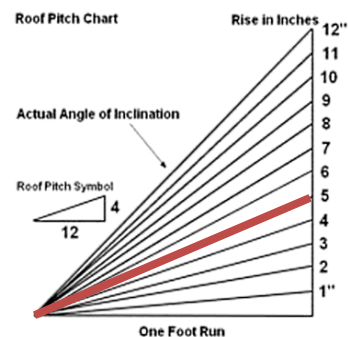
- If concrete is used, it should be colored to blend with the sand dunes.
- Wooden boardwalks and trails paved with decomposed gravel, packed sand, or crushed shells are suitable to the area.





### ***The Shoreline Residential (Housing) Design District (SH): Building Design (BD)***

- SH-BD1 Building Height:** The maximum height of a structure shall be thirty-five feet (35'), except the maximum height of an accessory building with a gross floor area of less than two hundred (200) square feet shall be fifteen feet (15'). [12-8A-4(B); 12-8B-4(B)]
- SH-BD2 Accessory building size in the S1 zone.** The total square footage of all accessory buildings shall not exceed eight hundred (800) square feet or ten percent (10%) of the total lot area, whichever is greater but in no case more than twelve hundred (1,200) square feet. [12-8A-4(G)]
- SH-BD3 Living space in the S2 zone.** The minimum living space per multi-family residence is seven hundred twenty (720) square feet. [12-8B-4(H)]
- SH-BD4 Density in the S2 zone.** The maximum number of housing units allowed per building is four (4). More than one two-family and/or multi-family structure may be placed on a lot. Multiple single-family residences are only permitted as group dwellings. [12-8B-4(I)]
- SH-BD5** To maximize open space and landscaping, combine side and rear yard setbacks along shared property lines.
- SH-BD6** New buildings should appear to fit in with the natural dunal setting.
- Reduce perceived building height by containing the top floor in the roof form.
  - Sloping roof forms should be used to reduce the profile of buildings.
  - Building forms should appear to step down in scale.
- SH-BD7** Buildings should have a sense of pedestrian scale.
- Use small scale elements at the ground level - including windows and ornamental details – that will provide interest to pedestrians.
  - In general, avoid long segments of blank walls that would discourage pedestrian activity.
- SH-BD8** Large buildings should have a horizontal emphasis in overall proportion, with some balancing vertical elements.
- Subdivide the overall building mass into subordinate forms that have a sense of horizontal emphasis.
  - Use doors and windows to provide contrasting vertical elements.
- SH-BD9 Roofs:** Pitched roofs of not less than five to twelve (5:12) are required. Materials shall be wood shingle, composition or metal. Shallower roof pitches on projecting features such as bays and porches may be permitted where the form of the elements is complementary to the overall form and character of the building. [12-10A-3(B)(1)]



**SH-BD10 Porches:** Covered front porches or wrap around porches are required. Porches on the front of the house, facing the street, shall not be enclosed with screens. [12-10A-3(B)(2)]

**SH-BD11 Building Materials:** Wood siding is required. Cedar shingles or cedar board and batten siding, or a combination thereof, is required for not less than eighty percent (80%) of the exposed exterior. Not more than eight inch (8") shingle exposure is permitted. Lap, clapboard, tongue and groove, or masonry, including stone, brick or split faced block, are permitted on not more than twenty percent (20%) of the exposed exterior. Cement board siding that is similar in appearance to permitted siding materials shall be allowed. Other construction methods, including sheet siding, are prohibited. [12-10A-3(B)(3)]

**SH-BD12 Finishes:** Natural, or stained finishes are required. Trim may be painted. [12-10A-3(B)(4)]

**SH-BD13 Foundations.** Permanent foundations are required. Not more than thirty six inches (36") of the foundation may be shown above ground level. [12-10A-3(B)(5)]

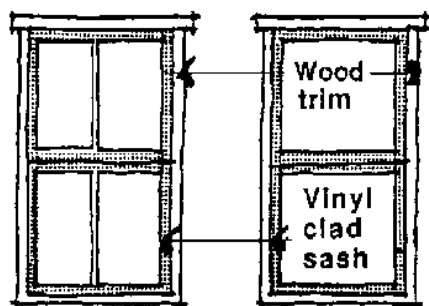
**SH-BD14 Accessory buildings:** Garages, whether attached or detached, shall be designed and positioned to be complementary to the overall aesthetic design and proportional to the house. Where available, direct access from a garage to a side street or an alley is required. Sheds and other accessory buildings shall be located in the rear or side yard. Accessory buildings shall be designed to complement the principal building(s) in form, detail, color, and material. [12-10A-3(B)(6)]

**SH-BD15 Orientation:** The front door shall face the street. [12-10A-3(B)(7)]

- Where clustered development occurs and buildings do not face a street directly, facades shall be oriented toward prominent views or open space.

**SH-BD16 Building Width:** The minimum width of any principal building shall be not less than fourteen feet (14'). [12-10A-3(B)(8)]

**SH-BD17 Door materials:** For traditional buildings, wood doors or synthetic doors that appear to be wood are preferred. [12-10-7(C)(4)]



**SH-BD18 Window materials:** Wood-cased windows or wood-appearing synthetic windows are preferred. If synthetic windows are to be used, they must have wood trim, to "tie" them in with the wood siding.

**SH-BD19 Upper-story windows:** Windows with vertical proportions are preferred on upper stories. These may be combined in sets to create larger areas of glass.

**SH-BD20 Historic appearance:** Where substantiated by photographs, physical evidence or other historical documentation, the reviewing authority may approve alterations and additions to historic buildings

that are not otherwise permitted. A building may be considered historic if it is more than fifty (50) years of age, is architecturally or aesthetically important, or has cultural significance. The intent is to preserve the historic appearance of the building, or restore it to its original historic appearance, not to permit buildings that do not comply with design requirements and that have no historic, cultural or aesthetic value to the city. There must be a demonstrated effort to preserve, restore or rehabilitate the entire building, such that the project generally meets the “Secretary of the Interior’s Standards for the Treatment of Historic Properties,” which may be used by the reviewing authority as alternate design guidelines where appropriate.

### ***The Shoreline Residential (Housing) Design District (SH): Ornamentation (O)***

- SH-O1 Detail encouraged: The use of ornamental detail is encouraged.
- SH-O2 Type of detail. Ornamental detail should not convey a false sense of history for the area, but modern interpretations of historic details are encouraged.
- SH-O3 Location of detail: Details should be located such to provide visual interest to pedestrians. False front cornices, roof gables, eaves, and marquees are appropriate locations. Detailing is also appropriate around doors and windows.
- SH-O4 Integration of detail: Ornamental detail should appear to be integrated into the overall architectural composition.

### ***The Shoreline Residential (Housing) Design District (SH): Fences (F)***

- SH-F1 Fences encouraged: The use of fences is encouraged to define the edges of open areas.
- SH-F2 **Preferred and prohibited fence design: Decorative fences are preferred, particularly wooden picket fences. Chain link and split rail fences are prohibited. [12-10-7(C)(5)]**
- SH-F3 Fence height: Any front or side yard fence located along the street and in front of the principal building may not exceed forty two inches (42”) in height. Any fence at a driveway-to-street intersection may not exceed forty two inches (42”) in height within ten feet (10’) of the property line at the street (not the edge of pavement).



### ***The Shoreline Residential (Housing) Design District (SH): Utilities (U)***

- SH-U1 Location: Locate utilities lines underground.

### ***The Shoreline Residential (Housing) Design District (SH): Mechanical Equipment and Service Areas (ME)***

- SH-ME1 Screen equipment in the S2 zone: All ground-mounted mechanical equipment and service areas shall be screened from view. Fences, berms and plantings are appropriate screening methods.

SH-ME2 Screen garbage areas in the S2 zone. All common trash receptacles shall be screened from the street and neighboring properties. Fences, berms and plantings are appropriate screening methods.

***The Shoreline Residential (Housing) Design District (SH): Signs (S)***

SH-S1 Sign design: Signs that are simple in design and easily read are encouraged.

- Signs that use pictographics to convey the activity of the business are particularly encouraged.
- Painted wood signs are encouraged.

**SH-S2 Signage in the S1 zone: Maximum allowable signage is one(1) sign per street frontage per residence, three (3) SF per sign. Signage for home occupations shall not exceed three (3) SF and shall be included in this allocation. [12-14-5]**

**SH-S3 Signage in the S2 zone: Same as S1, plus group sign of three (3) SF per dwelling unit up to twenty four (24) SF per street frontage for multi-family developments. Signage for home occupations, vacation rentals, and bed and breakfasts shall not exceed (3) SF and shall be included in this allocation [12-14-5]**

**SH-S4 Sign height: The maximum height of a freestanding sign is six feet (6'). [12-14-5]**

SH-S5 Sign/site integration: A sign should appear to be integrated into its setting.

- If mounted on a building, a sign should appear to be a part of architecture and fit within architectural features.
- If mounted on the ground, a sign should appear to be an integral part of the landscaping.
- A freestanding sign should have a low profile.
- Low scale monument signs, integrated into bermed earth forms, are encouraged.

SH-S6 Sign/building integration: A sign should appear to be in proportion to its building.

- Signs should have materials and colors that are similar to those of the building.

SH-S7 Consistent sign design: For multi-tenant buildings or multi-building complexes, have a consistent design approach to signage.

- Directory signs should be used to identify multiple businesses in one location.
- Align signs, and use similar shapes to improve legibility.

**SH-S8 Prohibited signs: The following are specifically prohibited and illegal:**

- **Signs located in such a manner as to obstruct or otherwise interfere with an official traffic sign, signal or device, or which obstruct or interfere with a driver's view of approaching, merging or intersecting traffic. [12-14-8(A)]**
- **Except as provided in design review, signs encroaching upon or overhanging any street or public right-of-way. [12-14-8(B)]**

- No sign shall be attached to any utility pole, light standard, street tree or any other public facility located within the public right-of-way. [12-14-8(C)]
- Signs that blink, flash or are animated by lighting in any fashion. [12-14-8(D)]
- Portable signs, except for temporary signs as set forth in design review. [12-14-8(E)]
- Advertising vehicles or any sign attached to, or placed on, a vehicle or trailer parked on any public or private property, except for signs meeting the following conditions:
  - The primary purpose of such vehicle or trailer is not the display of signs.
  - The signs are magnetic, decals, or painted upon an integral part of the vehicle or equipment as originally designed by the manufacturer, and do not break the silhouette of the vehicle.
- The vehicle or trailer is in operating condition, currently registered and licensed to operate on public streets when applicable, and actively used or available for use in the daily function of the business to which such signs relate. [12-14-8(F)]
- Balloons, streamers, pennants, or pinwheels, except those temporarily displayed as part of a special sale, promotion or community event, as set forth in section 12-14A-12 of this title. For the purposes of this subsection, “temporarily” means no more than a total of sixty (60) days in any calendar year. [12-14-8(G)]
- Any sign constructed upon or attached to the roof of a building or structure. For the purposes of this subsection, the face of a mansard roof or fascia shall not be considered to be a part of the roof. [12-14-8(H)]
- Billboards. [12-14-8(I)] and Inflatable signs. [12-14-8(J)]

